



Vista Ridge
Architectural
Review Committee
Guidelines
Revised April 2025

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GENERAL PROVISIONS

Planning and Design Philosophy

The Vista Ridge Master Homeowners Association Architectural Review Committee Guidelines ("Guidelines") have been created to clearly communicate to homeowners the criteria for making **improvements** within Vista Ridge. While the primary purpose of the following requirements is to create a sense of community, they will also allow for unique and individual design solutions that result in a varied and interesting "public realm." The Guidelines will also ensure the quality of the built environment that will be seen from the community's streets, trails, parks and golf course.

The architectural vision for the community is that of Golf Course related neighborhoods are made up of "Traditional Colorado" homes. The Guidelines will serve to produce and protect compatibility of individual homes within the larger community.

The Guidelines, procedures and information herein define how homes built at Vista Ridge can be compatible with each other and with their unique setting. The Guidelines are the criteria for judgment and form the basis of control by the Architectural Review Committee ("Committee"). Compliance with the spirit of the Guidelines is crucial to the mutual enhancement and protection of the qualities of Vista Ridge.

All residents within the Vista Ridge Master Homeowners Association ("Association") shall abide by the Association Guidelines, and the Master Declaration of Covenants, Conditions and Restrictions for Vista Ridge ("Declaration"). Custom homes have additional design guidelines. Please see Appendix F. In addition to the Guidelines, all Owners must abide by the Town, County, State, and Federal laws, ordinances, regulations and requirements governing building. The Guidelines are not intended to override any applicable Federal, State, or Town/County codes or zoning ordinances. Should there be any discrepancies; the more restrictive policies will apply. The Guidelines are not intended to stifle the creativity or originality of any designs, but rather to maintain harmony in the design of the Vista Ridge community as it is completed.

Amendments and Supplements

The Guidelines may change from time to time to reflect new experiences and changing conditions without modifying their overall intent. The Guidelines may be amended or supplemented in the future. Future amendments or supplements will apply only to improvements planned after the adoption of such amendments or supplements. **Owners contemplating activities covered herein should obtain the most recent approved version of the Guidelines.**

Adoption by Board of Directors

Pursuant to the authority set out in the Declaration, the Board of Directors of the Association has adopted the Guidelines and established the Committee. The Declaration will control if there are any discrepancies between the Guidelines and the Declaration.

General Purposes

The Board of Directors has adopted the Guidelines to maintain consistency in the use and making of improvements within Vista Ridge (the "Property"), and to prevent unnecessary and unreasonable interference with the views, natural beauty, and ecological integrity of the Property and the home sites therein. The Guidelines are subject to the Committee's supervision and interpretation, the zoning and planning regulations of the town of Erie, and applicable federal and state statutes, and rules and ordinances.



DEFINITIONS

The defining terms used herein are the same as those used in the Declaration.

- ⚙ Act: The Colorado Common Interest Ownership Act.
- ⚙ Architectural Review Committee ("Committee"): The Committee appointed by the Board of Directors to review and approve or disapprove plans for Improvements submitted by any Owner, as provided in Article VIII of the Declaration.
- ⚙ Board of Directors or Board: The Board elected pursuant to the Association's Bylaws or appointed by the Declarant; the "Executive Board" as the term is used in the Act.
- ⚙ Declarant: Vista Ridge Development Corporation, a Colorado Corporation, or its successors or assigns as defined in Section 38-33.3-102(12) of the Act.
- ⚙ Developer Design Review Committee (DRC): A Declarant regulated committee formed to review and communicate to all residents and non-residential architects, builders, developers and landscape architects/designers the design principles and criteria for development within Vista Ridge.
- ⚙ Hardscape: Built landscape elements composed primarily of concrete, masonry, or other rock material, including but not limited to, sidewalks, patios, pavement, curbs, seat walls, monuments, raised planters, and stairs.
- ⚙ Improvements: Any exterior construction, structure, fixture, landscaping or facilities existing or to be placed on a Lot constructed in the Common Interest Community, other than Initial Improvements, including but not limited to: buildings, outbuildings, swimming pools, tennis courts, patios, patio covers, awnings, solar collectors or panels, painting or other finish material on any visible structure, additions, walkways, sprinkler systems, garages, carports, driveways, fences, screening walls, retaining walls, stairs, decks, drainage facilities, landscaping (including any material change in slope, pitch or drainage pattern), hedges, windbreaks, plantings, trees, shrubs, flowers, vegetables, sod, gravel, bark, exterior light fixtures, poles, antennas, exterior tanks, and exterior air conditioning, cooling, heating and water softening equipment.
- ⚙ Landscape Material: Ground coverings consisting of plant material and/or approved rock and mulch. Bare soil is not considered a "landscape material".
- ⚙ Lot: Each platted lot which a physical portion of the Common Interest Community is, other than Common Elements, designated for separate ownership or occupancy, the boundaries of which are described on the Plat.
- ⚙ Master Declaration of Covenants, Conditions, and Restrictions for Vista Ridge ("Declaration"): The document that creates the Vista Ridge common interest community, and which provides the basis by which the Association can, among other things, adopt budgets, make and collect assessments, enforce the restrictive covenants, adopt and enforce rules and regulations, appoint an Architectural Review Committee, and pursue remedies to violations.
- ⚙ Owner: Any Person who is the owner of record of the fee simple title to any Lot, but not a Person having an interest in a Lot solely as security for an obligation. The Declarant is the initial owner of any Lot created by the Declaration.

- ⚙ Plant Material: Vegetation including trees, shrubs, groundcovers, and turf grass, obtained from nursery stock or otherwise cultivated for landscape applications, not including noxious weeds and vegetation generally considered undesirable due to weedy characteristics.
- ⚙ Vista Ridge Development Guide: Exhibit B to the Vista Ridge Annexation Agreement recorded September 15, 2000, at Reception No. 2973930 in the offices of the Clerk and Recorder of Weld County, Colorado.
- ⚙ Vista Ridge Master Homeowners Association, Inc. ("Association"): A representative form of government responsible for maintenance of designated areas and for making decisions that cause the association to function by enforcement of Covenants, Rules, Regulations, and Design Guidelines. The Association is currently governed by a five (5) member Board of Directors, supported by a management support contractor who handles day-to-day Association operations.
- ⚙ Vista Ridge Master Homeowners Association Architectural Review Committee Guidelines ("Guidelines"): This document adopted by the Board of Directors that details the criteria, limitations and restrictions, and procedures for making Improvements to an Owner's Lot within the Vista Ridge community. The Guidelines supplement the Declaration, but in the event of a conflict between the guidelines and the Declaration, the Declaration will control.
- ⚙ Vista Ridge Developer Estate Lot Guidelines: The Developer Guidelines were initially developed by the Vista Ridge Development Corporation (VRDC) to communicate the design principles, building criteria and construction requirements to prospective architects, builders, developers, and designers for residential and non-residential development within Vista Ridge. The Developer Guidelines govern new home construction. (See Appendix F)
- ⚙ Vista Ridge Metropolitan District: A quasi-municipal organization formed to develop and operate the streets, parks and utility systems as well as maintain designated areas. The Vista Ridge Metropolitan District provides services and maintenance of certain common areas within and surrounding the Vista Ridge subdivision on behalf of Weld County and the Town of Erie. The District is a quasi-municipal corporation established by the State of Colorado and governed by a five (5) member Board elected for four (4) year terms by voters within the District.

Architectural Review Committee ("Committee")

The Association Guidelines contained in this document are administered by a Committee consisting of three or more persons, initially designated by the Declarant, to review, study, and approve or reject proposed Improvements upon the Property. The term length of the members shall be designated by the Board of Directors.

Unless otherwise expressly provided herein to the contrary, all approvals required shall be in writing and may be granted or withheld at the sole discretion of the Committee acting reasonably, in good faith, and not arbitrarily or capriciously.

The Committee shall meet at the convenience of its members or must utilize the mail, email, or phone as necessary to transact its business. An Owner or his representative need not be present for the Committee to act upon an application. The initial address of the principal office of the Committee shall be:

Management Specialists
11002 Benton Street
Westminster, CO 80020
Phone: 303-420-4433

EXCEPT AS OTHERWISE PROVIDED HEREIN, NO IMPROVEMENTS (OTHER THAN INITIAL IMPROVEMENTS) SHALL BE CONSTRUCTED, ERECTED, PLACED, PLANTED, APPLIED, OR INSTALLED UPON ANY LOT UNLESS PLANS AND SPECIFICATIONS HAVE BEEN FIRST SUBMITTED AND APPROVED BY THE ARCHITECTURAL REVIEW COMMITTEE.

Right of Waiver

The Committee may grant reasonable variances or adjustments from any conditions and restrictions imposed by the Declaration or any Guidelines, to overcome practical difficulties or to prevent unnecessary hardships arising by reason of the application of any such conditions and restrictions. Any waiver or variance granted shall be considered unique and will not set any precedent for future decisions.

Enforcement and Non-Liability of Committee, Declarant, Management Company and Vista Ridge Master Homeowner Association, Inc.

These Guidelines may be enforced as provided in the Declaration. Neither the Committee, the Association, the Board of Directors, the Declarant, nor the Managing Agent (Management Specialists), nor any of their respective individual members, employees, agents, successors or assigns shall be liable for any loss, damage or injury arising out of, or in any way connected with, the performance and duties of the Committee. Every Owner or other person who submits plans to the Committee for approval agrees, by submission of such plans and specifications, that they will not bring an action, lawsuit or claim against the Committee, the Association, the Board of Directors of the Association, the Declarant nor the Management Company nor any of their respected individual members, employees, agents, successors or assigns based on mistake in judgment, negligence, or nonfeasance arising out of, or in connection with, the approval or disapproval or failure to approve any plans or specifications. Approval by the Committee shall not be deemed to constitute compliance with the requirements of any local building codes, development regulations or other applicable laws, and it shall be the responsibility of the Owner to comply therewith.

Information Submitted by an Owner

Any Owner submitting plans for Committee approval shall be responsible for the verification and accuracy of all dimensions, grades, elevations and location of key natural terrain features for the site.

Vote and Appeal

A majority vote of the Committee is required to approve a request unless the Committee has appointed a representative to act for it, in which case the decision of such representative shall control. If a representative acting on behalf of the Committee approved or denies a request for architectural approval, any Owner shall have the right to an appeal of such decision to the full Committee, upon a request therefore submitted to the Committee within thirty (30) days after such approval or denial by the Committee's representative. If an application for architectural approval is approved or denied by the Committee, whether pursuant to an original request for approval or an appeal from a decision of a representative of the Committee, any Owner shall have the right to appeal such decision to the Board of Directors, provided a written request on an appeal of the same shall be submitted to the Board within thirty (30) days after such approval or denial by the Committee.

Community Center Usage

All Community Center Rules need to be always followed. Please see Community Center Staff for a list of facility usage rules. Failure to timely pay assessments or any other balance owed to the Association, shall be considered a violation of these rules, for which privileges may be suspended.



Owner Representation

The Owner shall advise all his representatives, including but not limited to, his architect, engineer, Contractor, subcontractors, and their employees, of the standards and procedures outlined in the Declaration and Guidelines, including the Appendixes, and all such representatives shall abide by said documents. Notwithstanding any other provisions of Article VIII of the Declaration to the contrary, no Improvements shall be constructed, erected, placed, planted, applied or installed upon any portion of any Lot which is adjacent to the Golf Course without Golf Course Owner's approval.

ANY OWNER OR RESIDENT OF THE COMMUNITY WHO DOES NOT FULLY COMPLY WITH THIS DOCUMENT WILL BE SUBJECT TO ANY FINE STRUCTURE AND/OR LEGAL ACTION WHICH THE ASSOCIATION MAY DEEM APPROPRIATE.

BUILDING IMPROVEMENTS AND ADDITIONS Requirements

All requirements noted within this section which are pertinent to the improvements of an Owner's site shall be incorporated into the plan submittal in the form of general notes, details or drawings. The Committee reserves the right to require Owners to utilize a registered and accredited architect, structural engineer, civil engineer, and/or landscape architect.

Improvements and additions shall have details that are coordinated and consistent in their architectural treatment. Care should be given to proportion, scales and massing of the existing building.

Building Height

Building height limits promote building additions or improvements that are in harmony with the surrounding natural features. Considerations must be given to views from neighboring sites. While views may be considered by the Committee in its decision to accept or reject proposed improvements, nothing in the Declaration or Guidelines is intended to require that the Committee consider views, or assure the existence or availability of views, or that an existing view will be preserved in any manner or to any degree. Building height limits are defined by the Town of Erie and the Vista Ridge Development Guide.

Massing

In reviewing overall building forms, the Committee will consider massing, proportions and overall scale of the building addition or improvement in relation to the site. Designs that balance the desire for distinctive form with a subtle impact on the immediate environment will be encouraged.

Roofs

A building's roof is integral to its architectural character. Roofing material, color and texture should reflect other materials on the homes and adjacent properties. Roof materials may consist of a variety of neutral colors and shall exclude the use of all black, white, and highly contrasted color mixes. Roofing materials to be used for replacement of an existing roof are to be submitted to the Committee for approval prior to replacement.

Windows

Insulated glass windows (double-paned glass) are recommended. Material such as anodized metal, baked enamel or plastics of approved color will be approved at the discretion of the Committee. Reflective glass is not acceptable.

Reminder: See
Appendix B for
**Submittal
Requirements**



Doors

Solid core wood, plank, or hollow metal doors are acceptable for exterior doors. Any painted materials must be of an approved color that complements the other three (3) paint colors used on the house (Please refer to the section on Home Color listed below). Door designs complementary to the overall residence design is preferred.

All storm doors, security doors, glass doors, and/or screen doors that are used as a replacement for, or in conjunction with, the existing exterior door shall be of a design that is in harmony with the home's architecture. All colors and materials shall relate to those used within the homes facade and existing door treatment. Overly ornate and non-compatible designs will not be approved.

Replacement garage doors must match the style of the home. The garage door trim style, design, and color selections will be varied with the style of the home. Garage Doors must be painted the *base house color* (please refer to the section on Home Color listed below). Some homes will be allowed to paint their garage doors a different shade of the base color. These will be approved on a case by case basis. An Architectural Review form must be submitted for approval. Windows, decorative panels, or other architectural embellishments on the garage doors are required. Custom garage doors will be allowed based on design and must get prior approval before installation.

Exterior Materials and Finishes

Exterior materials and finishes shall be reviewed on an individual basis by the Committee. No bright, unfinished or mirrored surfaces will be permitted. All finishes should be subdued in nature, although brighter accent colors will be acceptable for occasional highlights when approved by the Committee. Additions or new improvements must be compatible with existing construction materials. Solid body stains that relate to the surrounding improvements are acceptable. Color samples must be submitted for Committee review.

Home Color

A harmonious palette of base and accent colors will be required on all primary (house) and accessory structures. A palette may consist of three (3) assorted colors but must include a minimum of two (2). A three (3) color palette shall include a base, trim, and contrasting accent color. **Garage doors must be the same color as the base house color (unless it is a custom garage door).** Some homes will be allowed to paint their garage doors a different shade of the base color only. These will be approved on a case by case basis. Custom garage doors will also be approved on a case by case basis.

Owners may repaint with the original house color palette but will still need to submit for Committee approval. If the primary structure is being repainted, and the original color palette is no longer available, the new color(s) must be in keeping with the community palette. It is suggested that the *new base house color, complementary trim color, and contrasting accent color* be compatible with those of the neighboring houses. The use of decorative accent colors and color-blocking will be reviewed for location and application. While muted colors are acceptable, a total "Beige" color palette will be considered unacceptable. The Committee must approve all color palettes.

Note: YOU MUST SELECT A PAINT SCHEME THAT IS IN ANY OF THE PAINT BOOKLETS OR YOU MAY CHOOSE TO KEEP THE ORIGINAL COLOR PALETTE OF THE HOME SO LONG AS THE SCHEME IS FOLLOWED EXACTLY AS IT IS LAYED OUT. YOU MAY PICK THESE UP AT THE COMMUNITY CENTER OR ONLINE AT WWW.VRHOA.COM. COLOR PALETTES MUST BE FOLLOWED EXACTLY AS THEY ARE LAYED OUT IN THE BOOKLETS. If you are selecting colors that are not located in the paint booklets, then you may be required to paint a large section of each paint color on your garage door for the Committee Members to review with your architectural review submittal.

Reminder: See
Appendix B for
Submittal
Requirements



Paint booklets are located at the Community Center, Management Specialist Westminster Office and at Sherwin Williams on 120th and Sheridan Blvd. You may also view the paint booklets on the Sherwin Williams Website or the HOA website.

The approval of color palettes applies to the body and trim of the house only. Stone, rock, brick or other veneers on the home are to be kept natural and unpainted. Custom paint applications on these surfaces will be reviewed by the ARC on a case-by-case basis.

Deck Color

Exterior improvement colors shall generally be complimentary to the Owner's home color palette. All surfaces of wood decks and stairways, including handrails, fascia, and stair jacks, shall be painted or stained to be complimentary to the body or trim color of the home, except for the case of redwood material which may remain natural, and pre-colored Trex Decking (or equivalent) materials which do not need to be painted. Any bare metallic surfaces (vents, pipes, gutters, flashing, etc.) will be consistent with the trim or body color. Exterior improvement colors shall be subject to Committee review and approval.

Changes

No substantial changes in plans or material previously approved may be undertaken without approval of the Committee. No work shall be undertaken (other than routine maintenance and repair) which will result in material changes in the exterior appearance of an approved residence, including painting (A different color) or re-staining (a different color), without prior, written approval of the Committee.



SITE IMPROVEMENTS

Site Considerations

These site improvement standards form the basic visual and planning direction necessary to integrate the natural setting within Vista Ridge.

Improvements should minimize disturbance of existing terrain and should not disturb drainage patterns, while taking full advantage of short and long views and solar exposure. Respect for adjacent residents is stressed, as is coordination of building massing, material capability, sun/shade patterns, indoor/outdoor relationships, drainage and access.

The site should be an extension of the home, including outdoor living spaces. The design of such spaces should coordinate with the building construction and design, extending similar materials where feasible, and using creative paving compatible in color and texture to the residence (*i.e.*, brick, concrete, pavers, slate, and treated wood).

While views may be considered by the Committee in its decision to accept or reject proposed improvements, nothing in the Declaration or there Guidelines is intended to require that the Committee consider views, or assure the existence or availability of views, or that an existing view will be preserved in any manner or to any degree.

Note: The Owner of the Golf Course has the right to add trees and other landscaping to the Golf course and to change the location, configuration, size and elevation of trees, bunkers, fairways, greens, cart paths, bridges, restrooms, irrigation pump stations, rain shelters, or other structural improvements which may alter the view from any home.

Setbacks and Side Yards

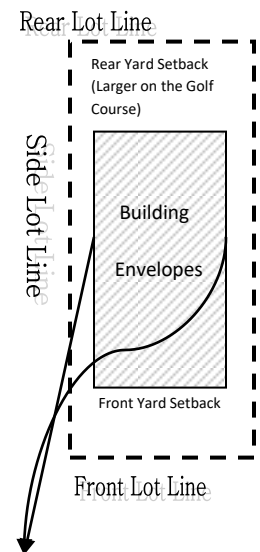
Building envelopes and minimum setbacks are defined for each site and vary depending on location of the lot. Lots directly adjacent to the Golf course have larger side and rear setbacks. No permanent structure excluding lot line and wing fencing shall be permitted within the minimum building setbacks or easements designated on the Final Plat or separate documents. The purpose and intent of the building envelopes is to ensure that Improvements within the individual Lots occur in a sensitive manner. No Improvements shall be constructed to impede access to or utilization of any easement or utility without the consent of the affected easement beneficiary or utility.

All setbacks and side yards will comply with Town of Erie standards unless alternative design criteria are established by these Guidelines and approved by the Town of Erie. *Note: It is the Owner's responsibility to determine the required setbacks that are assigned to their lot.*

Retaining Walls

Where retaining walls are required, or accent walls are desired to break up a slope, they must be designed in a style compatible with the home architecture and/or adjacent retaining walls. Acceptable materials include dry stacked natural stone, interlocking masonry wall units such as Keystone, Pavestone or approved equals, or wood timbers. Wood retaining walls must consist of a minimum of four (4) inch by six (6) inch or six (6) inch by six (6) inch pressure treated green timbers. No rounded log or plastic retaining walls will be permitted.

Masonry materials must match the home in color, design and spirit. All masonry designs shall be in harmony with adjacent retaining walls in terms of masonry unit size, shape, texture and color. No walls with high contrast colors or patterns will be permitted. All block walls must be either grout filled with reinforcement or utilize interlocking clips. Appropriate details shall be included and expressed in the use of masonry such as pilasters, quoins, belt courses, sills, caps, lintels, arches, keystones, friezes, and cornices.



Setback Diagram

Side Yard Setback (Larger on the Golf Course)

Reminder: See Appendix B for Submittal Requirements

No single wall can exceed forty-two (42) inches in height, and where more grade needs to be taken up, a series of walls, with planting between the walls shall be used. Walls will be separated by a minimum of three (3) feet or 1 time the height of the wall, whichever is greater. Walls must be screened with irrigated plantings consisting of climbing vines and/or screening shrubs. A combination of deciduous and evergreen vegetation shall be created with the intent to screen the appearance of the wall(s) at the time of plant maturity.

Fencing

All fencing associated with Vista Ridge will fall into one of the following categories: Restricted Neighborhood Fencing; Standard Neighborhood Fencing; Off Lot Line Fencing; Front Yard Fencing; Community Fencing; or General Fencing Requirements.

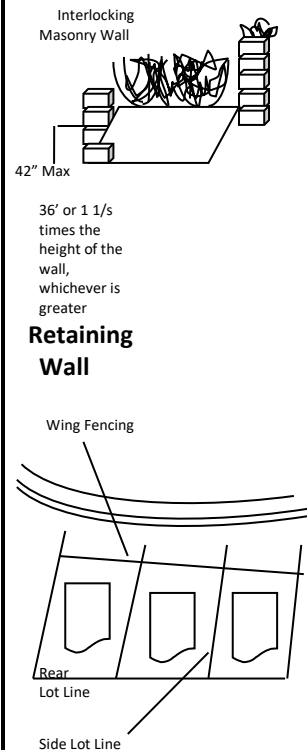
Owner's must determine if the fencing on their lot will need to follow the requirements of the "Restricted Neighborhood Fencing" or the "Standard Neighborhood Fencing" by locating the neighborhood and/or address within the associated diagrams and text. All other fencing text including "Off Lot Line Fencing"; "Front Yard Fencing"; "Community Fencing", and General Fencing Guidelines, apply to ALL lots regardless of neighborhood.

⚙ **RESTRICTED NEIGHBORHOOD FENCING FOR PEREGRINE, THE GREENS AND FILING 1D ONLY:**

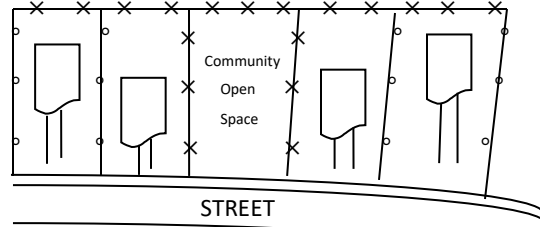


Peregrine, The Greens and Filing 1D

(Applicable addresses follow below.) **Privacy fencing is not permitted within these neighborhoods.** For all lots adjacent to the Golf Course and Community Open Spaces, three rail fencing is required on side and rear lot lines adjacent to the amenity. Side or rear lot lines that are perpendicular to the Golf Course or Community Open Spaces, three rail fencing is not required. Where fencing is desired, the only allowable style is three rails. All three-rail fencing installed by the Developer or home Builder must remain in place. Side and rear yard lot line fences shall "step" to allow grade changes. Two (2) inch by four (4) inch wire mesh may be attached to the three-rail fence on the property Owner's side of the fence only. One (1) fence per lot line is permitted. Double fencing is not permitted on any lot line. Wing fencing, which is fencing between two houses as seen from the street, is not required. If wing fencing is used it must be three rail fencing.



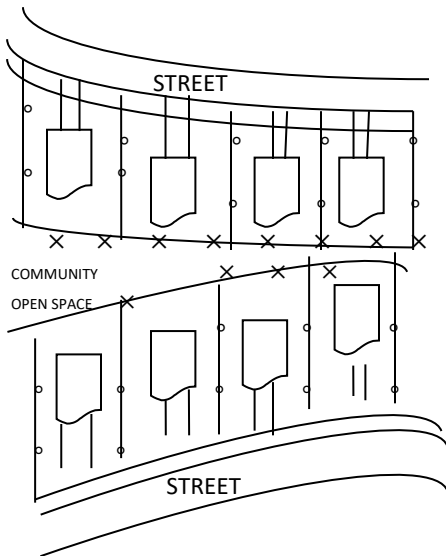
GOLF COURSE



THREE RAIL FENCING REQUIRED

THREE RAIL FENCING OPTIONAL,
NO PRIVACY FENCING ALLOWED

Figure: Restricted Neighborhood Golf Course Fencing



THREE RAIL FENCING REQUIRED

THREE RAIL FENCING OPTIONAL
NO PRIVACY FENCING ALLOWED

Figure: Restricted Neighborhood Community Open Space Fencing

The Peregrine neighborhood includes the following addresses:

2668-2734 Ironwood Place

2730-2892 Ironwood Circle

2811-2879 Eagle Drive

2787-2899 Eagle Circle

The Greens Neighborhood includes the following addresses:

1160-1214 Hickory Way

2284-2430 Links Place

1152-1274 Links Court

The Filing 1D neighborhood includes the following addresses:

1036-1095 Greens Place

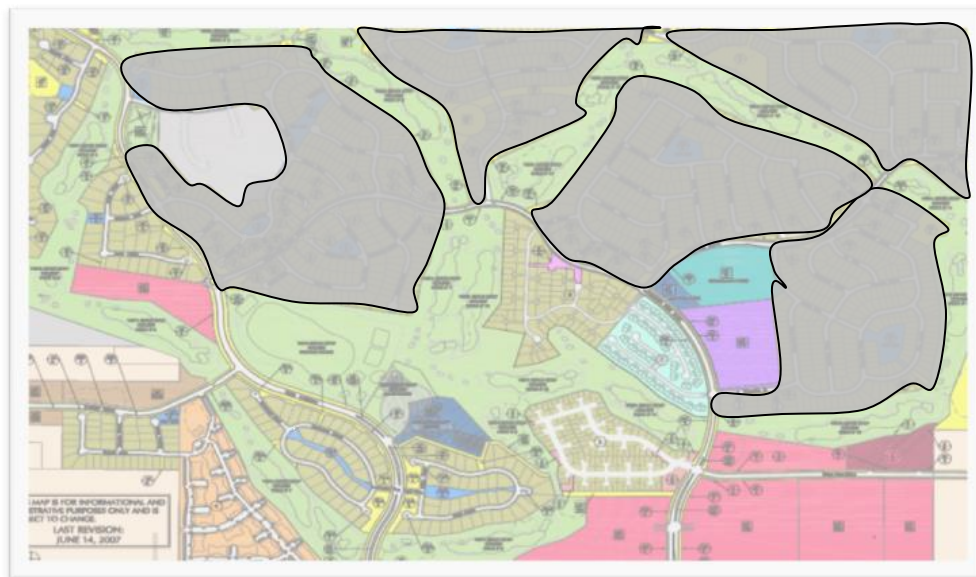
2072-2269 Driver Lane

1016-1035 Cessna Court

On a case by case basis privacy fencing will be allowed along the backside of the homes along Links Court only. The fencing will need to be consistent with the other homes along Links Court.

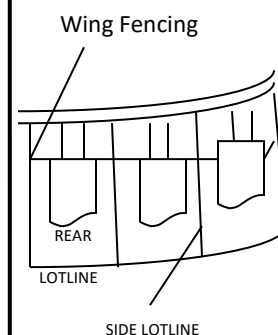
See
Appendix
E for
Three Rail
Fence
and
Privacy
Fence
Details

⚙ **STANDARD NEIGHBORHOOD FENCING FOR FILINGS 1C, 1G, AND 1H, 1T, 1U, 1V, AND 1W, FILING 3, ORCHARD, HORIZON, TAMARACK, SUNRISE AND FILING 1F AND 1X ONLY:**



Filings 1C, 1G and 1H, 1T, 1U, 1V, and 1W, filing 3, Orchard, Horizon, Tamarack, Sunrise, Filing 1F and 1X.

- **Golf Course Boundary Fencing:** See Appendix E for the Neighborhood Three Rail Fence Detail. When located adjacent to the Golf Course, only three rail fencing will be permitted along the side yards and the rear lot line located adjacent to the Golf Course. On lot lines, perpendicular to the Golf Course no fence is required, however if desired, it must be three rail. No privacy fencing is permitted on lot lines perpendicular to the Golf Course. Rear lot line and side lot line, where applicable, three rail fencing will be installed by the Home Builder. Two (2) inch by four (4) inch wire mesh may be attached to the three-rail fence on the property Owner's side of the fence only. Side or rear yard lot line fences shall "step" to allow grade changes. Wing fencing, which is fencing between two houses as seen from the street, shall be five (5) foot high solid style, and will be installed by the Home Builder. Only one (1) fence per lot line is permitted. Double fencing is not permitted on any lot line.



Reminder: See
Appendix B for
**Submittal
Requirements**

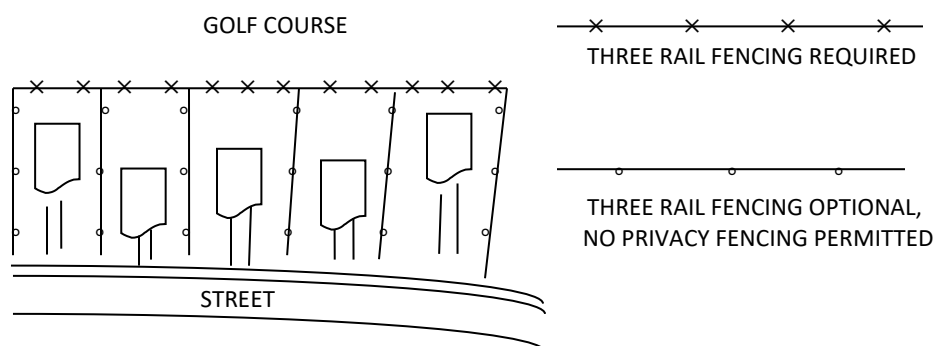


Figure: Standard Neighborhood Golf Course Boundary Fencing

- **Community Open Space Boundary Fencing:** See Appendix E for the Alternate Panel Neighborhood Privacy and Three Rail Fence Detail. When located adjacent to Community Open Space, only three rail fencing will be permitted along the side yards and the rear lot line located adjacent to the Community Open Space. On lot lines perpendicular to Community Open Space no fence is required, however if desired, it may be three rail or privacy fencing. Two (2) inch by four (4) inch wire mesh may be attached to the three-rail fence on the property Owner's side of the fence only. Side or rear yard lot line fences shall "step" to allow grade changes. Wing fencing, which is fencing between two houses as seen from the street, shall be five (5) foot high solid style, and will be installed by the Home Builder. Only one (1) fence per lot line is permitted. Double fencing is not permitted on any lot line.

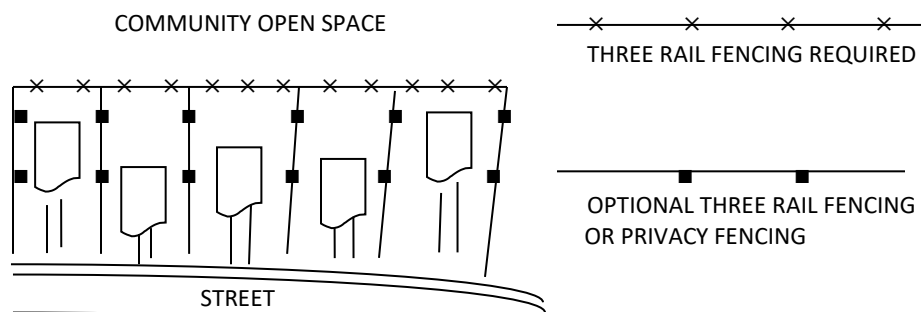


Figure: Standard Neighborhood Community Open Space Fencing

- **Interior Privacy Fencing:** See Appendix E for the Alternate Panel Neighborhood Privacy Fencing Detail. Fencing alongside, and rear yards of interior lots (non-Golf course frontage lots) is not required. When desired, fencing used alongside, and rear yards shall be five (5) foot high solid style. A variance may be granted by the Committee for three rail fencing alongside and rear yards provided that the Owner acquires written approval from all adjacent neighbors and provides the approval to the Committee. Side or rear yard lot line fences shall "step" to allow grade changes. Two (2) inch by four (4) inch wire mesh may be attached to the approved three rail fence, on the property Owner's side of the fence only. Only one (1) fence per lot line is permitted. Double fencing is not permitted on any lot line. Wing fencing, which is fencing between two houses as seen from the street, shall be five (5) foot high solid style, and will be installed by the Home Builder or Owner.

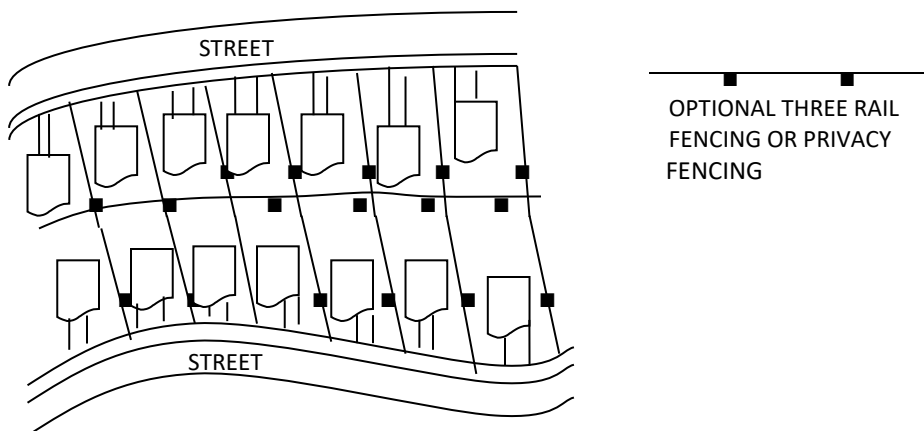
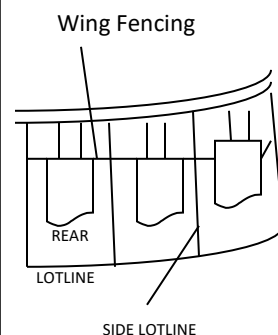


Figure: Standard Neighborhood Interior Privacy Fencing



REVISIONS:
Moved filings 1F
and 1X from
restricted
neighborhood
fencing to
standard
neighborhood
fencing.
Designation April
2012.

Reminder: See
Appendix B
For **Submittal
Requirements**

- ⚙ **OFF LOT LINE FENCING ONLY:** On Golf Course lots, off lot line fencing will not permitted within fifteen (15) feet of the property line. This also includes fencing around pools/spas and/or decorative fencing (*i.e.* vegetable gardens, etc.). The design and materials will be reviewed on a case by case basis. Off lot line fencing materials must be wrought iron or wooden three rail fencing.
- ⚙ **FRONT YARD FENCING ONLY:** Front yard fencing of any type is not permitted.
- ⚙ **(FOR INFORMATION ONLY) COMMUNITY FENCING ONLY:** The Vista Ridge Metropolitan District is responsible for all Community Fencing. This includes fencing along all major non-local roads in Vista Ridge. Community fencing surrounding vista Ridge has been designed and constructed to provide a consistent and unified image. The fencing is designed to reinforce the Vista Ridge landscape theme while satisfying the functional and privacy needs of residents. No alterations may be made to any Community Fencing without first obtaining Committee and Vista Ridge Metropolitan District approval, which may be withheld at their sole and absolute discretion.
- ⚙ **GENERAL FENCING GUIDELINES:** Any change in existing fencing, including removal, must be approved by the Committee. Owners may install like materials in the case of replacements without Committee review and approval. No vinyl or chain link fencing shall be permitted.

All fencing will comply with Town of Erie streetscape and fencing design guidelines unless alternative design criteria are established by these Guidelines and are approved by the Town of Erie. Gates shall not be permitted except within wing fencing unless specifically approved by the Committee.

Fences may be left natural and untreated or they may have been treated with one of the following options: Clear waterproof stain, natural or cedar stain, Behr SC-129 Chocolate (to match the trex fence from the Metro District) or SW9097 to match the Vista Ridge Community Fencing custom stain "Vista Ridge Fawn" or equal color to match "Vista Ridge Fawn".

Trash/Garbage Receptacles

Trash receptacles must be screened (*i.e.* behind wing fencing, if permitted, lattice screening) and/or enclosed in the garage or accessory building, from the public right-of-way always except on trash pickup days. All receptacles and storage enclosures shall be planned as a part of the total fencing and landscape design, and subject to Committee approval.

Accessory Structures

Accessory structures or facilities such as storage sheds, gazebos, greenhouses, mechanical buildings for pools, cabanas, hot tubs, etc., shall adhere to the standards for buildings and site planning and are subject to approval by the Committee and the Town of Erie. Massing and scale, as well as forms, roof pitch, materials, colors, and other detailing shall be coordinated with the primary residence on the site.

Consideration shall be taken in the placement of such structures to meet all easements and setback requirements, and to be sensitive of neighboring views. Accessory structures shall be located behind the residence screened from the front of the residence. Each lot has their own setback requirements which are typically anywhere from 5 feet to 10 feet. You are required to call the Town of Erie to see what the setback requirements are for your specific lot prior to submitting your design review request for consideration.

Accessory structures shall comply with the following criteria: All structures shall be constructed within the building envelope. It is encouraged that any structure be attached to the primary



The planting of Trees and shrubs Not only helps to Beautify your Property, but Landscaping may Also increase the Property value.

Reminder: See Appendix B for **Submittal Requirements**

residence. Any attachment to the primary residence shall be specifically designed and built within materials that match or are compatible with the primary residence. It is encouraged that any free-standing structure shall be of the same materials and painted to match the primary residence. No metal sheds will be permitted. Plastic will be permitted for structures five (5) feet in height, or less, that are screened from the public right-of-way. All structures above five (5) feet in height, and not screened, must be constructed of wood.

In any case, all structures shall

- 1) Be constructed within the building envelope on a level concrete pad:
- 2) Not alter drainage patterns of Site:
- 3) Not exceed eight feet by ten feet in size (or other configuration not to exceed 80 square feet):
- 4) Not exceed nine (9) feet in height at the highest point. A building permit must be acquired for all new construction. Approval by the DRC does not constitute compliance with Town regulations.

Decking	Railings	Benches	Overhead Structures	Stairways	Columns	Structural Beams & Joists
Redwood, Cedar, Other Materials Specifically Manufactured For use as decking such as Trex	Redwood, Cedar, Finished Metals	Redwood, Cedar	Redwood, Cedar	Redwood, Cedar, Masonry To match Building architecture	Build up With same material as home or wood that matches house	Redwood, Cedar

Patio Covers/Pergolas/Pavilions

Structures designed to cover patios or provide shaded areas on the back of the home will be considered on a case-by-case basis. Allowable size will be determined by lot size, building envelope and impact on neighboring properties. A building permit must be acquired for all new construction. Approval by the DRC does not constitute compliance with Town regulations. It is encouraged that any structure be attached to the primary residence, however, free-standing structures will be considered on a case-by-case basis.

In all cases (free-standing or attached), the structures shall:

- 1) Be constructed within the building envelope on a level concrete pad.
- 2) Not alter drainage patterns of site.
- 3) Be specifically designed and built with materials that match or are compatible with the primary residence in paint color, trim and roofing material.

Air Conditioners

Air conditioning units, where possible, must be incorporated into the main building or with other detached structures, and be architecturally compatible (including color) with the residence. Air conditioning units shall be ground mounted and screened from public view. Air conditioning units will not be permitted on rooftops, in windows or in front of residences. Flush mount window A/C units will be permitted.



All air conditioners will be located as far from the front and side property lines as reasonably possible. Owners are required to submit the design and location of any equipment and screening methods to the Committee for approval. Swamp coolers are not permitted.

Decks

Decks shall be constructed of the following approved materials: Redwood, Cedar or other materials specifically manufactured for use as decking such as Trex.

Decks shall be integrated into the architecture of a home using built up columns of masonry, stucco, or siding materials that are complimentary to the other house materials. Columns of at least eighteen (18) inches square in width will be required at the base of any ground level vertical supports and shall extend up to the top of the handrail. Eighteen (18) inch columns are not required when the deck height, as measured from the top of the decking surface to the lowest grade underneath the deck, equal to five (5) feet or less. It is suggested that decks without columns have a lattice skirting or other approved material for screening. Deck railings shall appear substantial and reflect the architectural style of the home. Railing designs must be included with plan submittals. Stairs will be constructed with cantilevering or with additional columns, and of similar materials to the deck and its handrail.

All decks will have a minimum depth of ten (10) feet, except second story decks, which may be smaller. The minimum deck size will be forty-eight (48) square feet. Large singular deck spaces will not exceed five hundred (500) sq. ft. Detached decks are permitted but shall comply with all architectural and material criteria. Considerations shall be taken for the location and size of all decks so as not to obstruct the view from adjacent lots.

Driveways

All driveways and walkway enhancement projects must have approval of the Vista Ridge Architectural Review Committee (VRARC) prior to starting work.

- ✧ **Driveways:** All driveways shall be constructed of concrete. Rock, gravel, asphalt or paver stones are not permitted. Painted concrete driveways are not permitted. Elaborate designs/patterns or custom textures in concrete are not permitted. Stained or dyed concrete driveways will be considered on a case-by-case basis and must meet the following criteria:
 - (1) the existing driveway must be in acceptable condition prior to application of stain/dye;
 - (2) concrete stain/dye must be gray in color and coordinate with the concrete areas of surrounding homes
 - (3) homeowner must accept responsibility of regular re-application of stain/dye to keep appearance of driveway within community standards as determined by the VRARC.
- ✧ **Driveway Borders:** Stamped, colored or stained concrete accent borders along the sides of the driveway are permissible, including pavers and natural stone, up to 24 inches wide. Border colors shall be complimentary to the house brick or stone siding, stucco, landscaping rock and or colored concrete driveway.
- ✧ **Walkways:** Front entrance and side yard walkways may also be constructed of stamped or colored concrete, brick pavers or natural stone. Colors shall be complimentary to the house or driveway colors.
- ✧ **Special Considerations:** If sealing is required for certain concrete surfaces (i.e. stamped concrete walkways or borders) an un-tinted sealant shall be used. Future homeowner repairs, periodic maintenance, replacement of the driveway or walkways should be important considerations for all driveway and walkway enhancement projects to ensure consistent concrete color and compliance with the Architectural Review Guidelines.

Swimming Pool and Spas

Spas (including saunas, hot tubs) and swimming pools shall be constructed with materials and colors that are in harmony with the architecture of the home. Such amenities shall be designed

as an integral part of any associated deck or patio. Spas and swimming pools shall be located in the side or rear yards in such a way that they are screened from the public right-of-way. Consideration shall be given to potential noise impacts to neighboring properties. Special attention shall be given to the safety of private spas and swimming pools. Any fencing determined to be necessary must abide by all setbacks and fencing guidelines. On Golf Course lots "off lot line" fencing will not be permitted within fifteen (15) feet of the property line. The preferred fencing materials are wrought iron and wooden three rails. The design and materials of any off-lot line fencing will be reviewed on a case-by-case basis. Swimming pools and hot tubs will be required to have drains and draining of the water needs to be considered when submitting your request.

Play and Sports Equipment

Play equipment and sports equipment, or items used for front yard play, shall be stored out of view when not in use. No permanent equipment shall be installed in the front yard area other than permanent basketball hoops will be allowed to be installed on the side of the driveway on a case by case basis. Permanent play equipment that is to be in the backyard must be approved by the Architectural Review Committee prior to installation.

- ⚙ **Basketball Backboards:** Basketball hoops shall only be permitted in front yard areas. Backboards shall be installed on a separate free-standing post or pole, and/or be portable in design and therefore easily removed from the driveway; or as otherwise approved by the Committee. The backboard must be made of a clear material, white or other approved material and the post must be painted black or another approved dark color. Basketball hoops, backboards and pole/base structures shall be maintained and in good working condition. No basketball backboards shall be attached to the garage or side facing the street. For safety, portable basketball backboards and any permanent posts must be located so that the general play area does not impact the public right-of-way (streets, sidewalks).

Pet Enclosures, Shelters, and Dog Runs

Pet/dog houses, shelters, and runs shall be screened from view of the public right-of-way through the use of deciduous and evergreen trees, shrubs or fences, and shall be built from materials compatible with the residential improvements installed on the Lot. The existing solid wing fencing, if included, can also be used as screening. In addition, dog runs shall be maintained at a reasonable and acceptable level of cleanliness. Refer to fencing guidelines for any pet enclosures to ensure correct setbacks and designs for lots on and off the Golf Course. Pet enclosures must be built in side or rear yards only. No chain link fencing will be permitted. Invisible electronic pet fencing is encouraged as an alternative to fencing.

Antennae and Satellite Dishes

Antennae and satellite dish availability and installation shall comply with the Antenna/Satellite Dish Rules and Regulations attached hereto in Appendix C.

Mailboxes

Gang, or grouped, mailboxes will be provided and installed by the Home Builder. Individual mailboxes are not permitted by the local postmaster. If you lose your mailbox key and or need additional keys, it is the homeowner's responsibility to obtain a locksmith to rekey and or provide more keys to the homeowner. The association doesn't have extra keys and doesn't know which boxes belongs to each home in Vista Ridge. Please contact the Erie Post Office with any questions pertaining to the mailboxes.

Signs/Flags and Flagpoles

No contractor signs shall be permitted within any lot, nor may any signs and or flags be placed on any fencing in the community. The Association will not prohibit or regulate the display of signs or flags on the basis of their subject matter, message or content. You shall not have more than one flag and one sign displayed per lot at any given time and flags shall not be larger than 3' X 5' and signs shall not be

larger than 18" X 24". Flags and signs must be professionally designed and lettered. Approval of Flagpoles will be considered based on the size and location for the individual lot configuration. Flagpoles are not permitted in the tree lawns.

House Address Numbers

One (1) house address number shall be permitted per house and shall be located close to the front door or above the garage. Numbers shall not exceed five (5) inches in height.

Permanent Outdoor Lighting

Lighting of parking areas and/or walkways to houses may be necessary. Lights must be functional and enhance the overall appearance of a residence, but not disturbing neighbors or motorists. No light shall be emitted from any site that is unreasonably bright or causes unreasonable glare. If any neighbor complains about the lights being emitted on the sides of the homes, the Owner will be required to either dim and or turn off the lights on the sides of the homes as decided by the Board of Directors.

All exterior lighting fixtures, including lamp posts and carriage lights used for illumination of driveways, walks, address signage, and general landscape purposes shall be compatible with the design of the structure(s) and must complement the style of the community.

Permanent Exterior Lighting Systems – Permanent exterior lighting systems (sometimes referred to as "Jellyfish Lighting" or by another brand name) attached to the exterior of the house, requires Architectural Review Committee (ARC) approval prior to installation.

1. The Design Review Request should include a picture of the house, with the areas where the lighting is to be installed drawn on the house picture. The lighting system shall be as inconspicuous as possible, **MUST** be installed under eaves and soffits and not be visible from street view. The lighting must match the surrounding house paint color. All wiring and installation hardware shall be completely hidden from view.
2. Lighting fixtures shall be low wattage and low lumens, be recessed, and the lights must be small. Illuminating large areas (including spotlights and flood lights) is specifically prohibited. "Blinking" or "pulsing" functions may only be used during the "Approved Lighting Periods" listed below in paragraph 7 and not create a nuisance for other Owners.
3. Lighting fixtures must be professionally installed, and the installer/company must be provided in the Design Review Request. All lighting and wiring must be enclosed in a track system. **No LED strip lighting is allowed. No string lighting or any other type of temporary lighting can be installed.**
4. It is suggested that no permanent lighting of any kind is installed on the side of the house that has a home next to it. If lighting is installed on the side of a home where it emits too much light into their neighbor's home, the lights will be required to either be dimmed and or turned off completely. Lights on the side of the homes must be spaced at least 5 feet apart. Homeowners can run a power line from the front to the back of the house to allow for one power source for the system. This wire must also be covered and not visible from the street.



5. The use of the permanent exterior lighting system is allowed year-round as architectural lighting, only if one light every five (5) feet is illuminated and must be set to a warm white hue only. The maximum lumens per light should not exceed 600 lumens. In all cases, the lights must follow Article 9 Section 9.2 of the Covenants, Conditions and Restrictions. The Board shall have sole discretion in determining if the Permanent Exterior Lighting Systems are following the Covenants and with these rules.
6. All lighting facing neighbors must be turned off by 11:00 P.M. every night. Since home ownership changes, those with this permanent lighting must be open to working with changing conditions/situations to accommodate the needs/requests from the neighbors. This includes turning sections of lights off or reducing the intensity as well as issues with colors.
7. ***Colored lighting (Colors other than warm white hue) is only allowed during the following periods:***
July 1st - July 10th
October 15th – January 31st

Architectural Embellishments

Approval of awnings, shutters, visual screens, trellises, archways, sculpture, statuary, and other exterior elements will be considered based on the size and number of pieces for the individual lot configuration. Golf ball netting is not permitted in Vista Ridge.

Play Structures

Submittal to the Committee is not required for Play Structures if the Guidelines are followed. Play Structures shall be made of wood and must be less than twelve (12) feet in height. Structures must be setback a minimum of five (5) feet from property lines and are not allowed in front yards.

Trampolines

Submittal to the Committee is not required for Trampolines if the Guidelines are followed. Trampolines must be less than twelve (12) feet in height. Trampolines must be setback a minimum of five (5) feet from the property lines and are not allowed in front yards.

Holiday Decorations

Decorating for the holidays is encouraged throughout Vista Ridge Master HOA. As a reminder we ask that no decorations or lighting is placed on the fencing in the community that lines the golf Course without prior approval as that fencing is Owned and Maintained by the Metro District.

Holiday decorations are allowed to be out no more than 30 days before the holiday and is required to be removed within a week after the holiday. With so many holidays occurring towards the end of the year, you will be required to have all holiday decorations, and lighting removed no later than January 31st each year.

Noncompliance with Site Improvements

If improvements are made to the outside of your home without prior approval, then the homeowner will be responsible to make any changes that the Board sees necessary so that the project follows the community guidelines.

Construction Materials

Construction materials for landscaping, home remodeling or other home projects shall only be temporarily placed in the street or driveway until the materials can be stored elsewhere on the property. Street and sidewalk access shall not be restricted or hindered.





LANDSCAPE GUIDELINES AND PROCEDURES

Purpose and Intent

When preparing to landscape, or when altering existing landscaping, a Landscape Plan is required to be submitted with your Design Review Request submission and is subject to these Landscape Guidelines and Procedures. Because individual home sites vary in landscape character, terrain, views, and features, the Landscape Guidelines and Procedures are written in general terms that define design principles, offer size planning guidelines, and clarify the Owner's responsibilities. Owners are encouraged to retain the services of a professional Landscape Architect experienced in site analysis and planning, landscape design, landscape installation and plant materials.

The intent of the Landscape Guidelines and Procedures is to assist Owners with landscaping their Lots in ways that are consistent with the intent of the Vista Ridge Land Plan, the Town of Erie UDC and state laws.

Additional landscape considerations include the following:

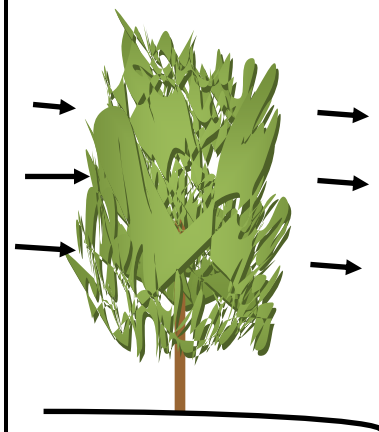
- ☀ Enhancing the overall appearance of the Vista Ridge Community.
- ☀ Increasing neighborhood and community identity through the consistent use of plant materials and compatible designs.
- ☀ Providing space to accommodate outdoor living requirements.
- ☀ Minimizing irrigation requirements within Vista Ridge.
- ☀ Screening to enhance privacy and to soften building facades.
- ☀ Mitigation of varying climatic conditions, including wind, sun, and shade.
- ☀ Incorporating sage, rabbit brush, wildflowers, and other similar prairie natives into landscapes to promote water conservation.
- ☀ Prevention of erosion, ponding, sliding or other damage to the site or adjacent sites.
- ☀ Maximizing considerations of safety, security, and wayfinding for residents, visitors, and wildlife.

The State of Colorado has enacted legislation that encourages low maintenance, ecological friendly home landscaping designs, also known as Xeriscape. Xeriscape is defined as "The application of the principles of landscape planning and design, soil analysis and improvement, appropriate plant selection, limitation of turf area, use of mulches, irrigation efficiency and appropriate maintenance that results in water use efficiency and water saving practices." Vista Ridge also encourages Xeriscape principles in all landscaping improvements.

Grading and Drainage

The final drainage pattern should take the water from the Lot out to the street or along the back-property line. If drainage occurs down the side of the Lot near the property line, grading should be done so that the water does not run into neighboring properties. No Owner shall interfere with or redirect the natural course or intended flow of any drainage and runoff, not construct any improvement, place any landscaping, or allow the existence of any condition that will alter the drainage pattern as intended. Any change in drainage or runoff patterns shall be designed by a registered professional engineer or landscape architect. Lot grading shall consist of smooth contours and transitions and not sharp angles or abrupt grade changes.

Guidelines for grading and drainage are general and do not constitute a representation, warranty, or agreement by the Committee that adherence shall result in a residence and/or landscape which is free from any defects. The Committee shall not be liable for any damages resulting from the design or construction of any home or landscaping which has been approved by the Committee pursuant to these Guidelines and Procedures or for any damages resulting from an Owner's failure to meet or exceed the minimum Landscape Guidelines set forth in these Guidelines and Procedures when necessary for the proper design and completion of residences or landscaping.



Low branching evergreens can provide an ideal barrier against cold winter winds.



Erosion Control

During and after all site construction, techniques to control site erosion and to protect adjacent properties are mandatory and must conform to the requirements of the local jurisdiction. Techniques include the use of sedimentation basins, filtration materials, such as straw bales or permeable geo-textiles, and slope stabilization fabrics or tacking agents.

Slope Landscape

Slopes on private property shall be landscaped with plant material or other approved ground treatment, including but not limited to mulch and rocks. Owners shall be aware that the more landscaping added to the width of the slope by using materials such as drought tolerant sod, ground covers, shrubs, etc. will help to prevent erosion. In areas with a slope of greater than 3:1, retaining walls shall be constructed.

Existing Trees

Existing trees adjacent to the construction area shall be protected during the construction period. Removal of any existing trees is subject to Committee approval. Trees and vegetation are valued and should be preserved whenever reasonably possible. The specifications and contract agreement between an Owner and their contractor shall clearly define the intent of preserving plant life. Nailing items to trees is not permitted.

Irrigation

Automatic irrigation systems are required for all landscapes. It is recommended that Owners create a complete landscape irrigation plan for their lot, preferably designed by a landscape irrigation specialist. All systems shall be designed to minimize overspray and water waste. Irrigation installation shall conform to all Town of Erie plumbing codes.

Plant Material Standards

All plant materials (trees, shrubs, ground cover, etc.) shall be high quality nursery stock suitable for Colorado growing conditions. Plant materials used throughout the community shall also meet the Town of Erie Landscape Development Guidelines.

Use of plants from the list of Vista Ridge Recommended Plant materials is encouraged (see Appendix A). The design solution and plant selection should be consistent with and complementary to the overall landscape concept for the lot. Landscape designs shall provide a cohesive and flowing relationship with adjacent homes and lots, and blend with surrounding common areas, as much as possible.

Mulch and Landscape Edging

To discourage weed growth and to unify the appearance of planting areas, shrub and/or perennial/annual beds shall be mulched with rock or wood mulch and weed barrier shall be used in all rock and mulched areas. Owners shall select the same or similar mulches as those installed on adjacent lots to promote uniformity of the street scene. Similar mulch types and colors shall be used throughout the front, side, and rear yards to avoid mixed color patterns. All mulched areas adjacent to turf grass shall be bordered by a steel or concrete edger. Single trees or shrubs planted in turf do not need to be surrounded by edger. Loose plastic edging and landscape timbers will not be permitted.

Landscape and Installation

- ☀ All plant materials should be in good health when planted and should conform to industry standards.



Trees can provide valuable shade, which in turn can cut cooling costs. Shade the south side of the house from the hot summer sun and locate the trees to provide shade to the roof.

Reminder: See Appendix B for Submittal Requirements

- ☀ For newly constructed homes, all landscaping (side and rear yards) must be installed within 90 days of occupancy during April through September. For occupancy occurring between September and April, landscaping must occur within 90 days of April 1st. Exceptions for installation of certain plant materials are subject to Committee review.
- ☀ After installation, all materials must be cleaned up from the site and surrounding area.
- ☀ All stipulations and changes made during the approval process must be followed.
- ☀ The Committee reserves the right to inspect the site during and/or after installation to insure conformance to the approved plan. If the installed landscape does not meet the required design standards and does not follow the approved plan, the Committee reserves the right to require the Owner to correct any problems at the Owner's expense. The Owner shall immediately correct any installation that is not in conformance with the approved specifications.

Landscape Maintenance

Owners must maintain their entire Lot both seasonally and on a regular basis, including lawn cutting, tree and shrub pruning, removal of weeds and dead plant material, and general removal of trash and lawn debris, etc.

Artificial Turf Grass

The use of artificial turf is only permitted in the backyard and the side yards of the homes. NO artificial turf is allowed in front yard areas in Vista Ridge. Outdoor carpeting is not acceptable for landscaping uses. The Vista Ridge Master Homeowners Association requires the following rules are followed when selecting artificial turf products:

- ☀ **Pile Height:** Pile height refers to the length of the longest blade of artificial grass. Average height of landscaping grass is 1.5 to 2.0 inches. Blade lengths for putting greens and dog runs are less, with typical lengths near 1 inch.
- ☀ **Face Weight:** Face weight is measured by the total number of ounces of turf yarn per square yard. A minimum of 60-ounce face weight as defined by industry standards is required.
- ☀ **Primary Backing:** Primary backing is the layers of material the yarn is punched through in the process of manufacturing the turf. Two or more layers totaling more than 6 ounces a square yard shall be required.
- ☀ **Secondary Backing:** Secondary backing is the coating on the back of the turf for all weather durability. Backing materials are polyurethane or latex. A minimum weight of 10 ounces a square yard is required.
- ☀ **Yarn Type:** Three types of turf yarn may be used singularly and or in combination: polyethylene, polypropylene and nylon.
- ☀ **Roll Widths:** 15 ft. roll widths are the most common in the U.S.
- ☀ **Color:** Natural green. No other alternative colors (i.e. blue, tan, etc.) are acceptable.
- ☀ **PFA's:** You are required to select and use turf that is 100% free of PFA's. You must submit product detail spec sheet with your submission.



Artificial turf installation must provide adequate drainage and cannot be placed directly on top of existing grass or dirt. Turf must also have prepared base of “infill”. Artificial turf must be adequately secured with no ripples or seams showing and turf edges must be finished. Felt backing is not acceptable. If artificial turf is replacing live grass, all sprinklers and irrigation systems must be removed.

Special consideration should be given to the actual purpose of the turf (permanent landscaping or whether the turf will be utilized by pets). Certain artificial turfs are specifically designed for pets, allowing for better drainage, improved cleaning and maintenance and stain resistance. Also, artificial turf absorbs heat differently than natural grass and therefore may have higher surface temperatures that could affect nearby plants and vegetation. To maintain high quality installations, artificial turf designed for athletic fields is typically not suitable for general landscaping. Used turf, factory seconds or closeouts and turf remnants should be avoided as well. A competent sales representative should be able to explain which type and specification of artificial turf is best for your landscaping project. A typical 8-10-year limited product warranty, including UV protection and a 1-year installation warranty are usually provided.

A copy of the turf specifications shall be submitted along with your design review request submission to verify acceptability of the turf product.



Reminder: See
Appendix B
for
**Submittal
Requirements**

LANDSCAPE CRITERIA

For reference, see the definitions of Hardscape Material, Landscape Material, drought tolerant turf and Plant Material at the end of this section. Please note that dandelions, crab grass, chickweed, white clover, oxalis, clover, spotted spurge and annal bluegrass are all considered weeds and are not allowed in your lawns and or is not allowed as a replacement for actual turf sod.

Tree Lawns

Tree lawns are those landscape areas between the curb and gutter and the detached sidewalk. All lots and buildings that front streets other than the Community Parkways will have a tree lawn with at least two (2) street trees. The Home Builder is responsible for planting a minimum of one (1) street tree per thirty (30) feet of street right-of-way, but not less than two (2) street trees per lot. The Owner of the associated lot will be responsible for maintenance and tree replacement of the tree lawn. Basic tree lawn maintenance involves irrigation, weeding, and lawn mowing. Trees will be a minimum of 2" in caliper and must be a minimum of six (6) feet in height.

No plantings or other landscape treatments other than street trees and live turf or drought tolerant turfs will be permitted in the tree lawn. Irrigation for the street tree and tree lawn will be tied to the associated lot. Replacement materials should be the same variety as the existing whenever possible.

In the event that a tree lawn tree dies or is pruned to an unacceptable size or aesthetic, the owner is responsible for planting no more than two (2) replacement trees in each allowed spot. If the two consecutive replacement trees die, the owner must provide an explanation to the Board, preferably with evidence as to why the homeowner should be exempt from planting additional replacement trees. If the Board approves the Owners request, then the owner is responsible to remove the dead tree including any stumps, fill any holes and replace with live turf consistent with existing materials.

Front Yard Landscape

Front yard landscaping shall follow the following landscape requirements:

- ☀ Each front yard will be required to have a minimum of two (2) deciduous and/or evergreen trees in addition to the previously mentioned street trees in the adjacent tree lawn. For fifty (50) foot lots only one (1) tree is required. Deciduous trees will be a minimum of 2" in caliper and evergreens must be a minimum of six (6) feet in height. One (1) tree may be substituted with a cluster of three (3), seven (7) foot ornamental trees.
- ☀ A minimum of five (5) shrubs will be required.
- ☀ 100% coverage will be required and can consist of live turf grass, drought tolerant turf & plants, trees, shrubs, flowers and hardscape materials. A minimum of 50% coverage must be live landscape materials and excludes any hardscaping such a rock, stone, mulch, retaining walls, pathways, concrete, etc. Exceptions for front yard requirements may be made on a case-by-case basis.

Note: It is the responsibility of the Owner to ensure that the minimum required landscape has been provided. Any Home Builder installed landscapes may need to be enhanced to meet the minimum requirements listed above.

Side Yard Landscape

Exterior Side: Exterior side yards must follow the same guidelines as the tree lawns. 100% Landscape Material will be required. The landscape must be irrigated through establishment of the plants.



Interior Side: 100% coverage will be required. A minimum of 50% coverage must be live landscape materials and excludes any hardscaping such a rock, stone, mulch, retaining walls, pathways, concrete, etc. Interior side yard landscapes will be installed by the Owner.

Rear Yard Landscape - Interior Lots, or Lots Not Immediately Adjacent to the Golf Course

Submittal to the Committee is not required for interior lot rear yard landscaping as long as the Guidelines and Procedures are followed. The minimum rear yard landscape to be installed by the Owner will be the following:

- ☀ A minimum of two (2) deciduous and/or evergreen trees will be required. Deciduous trees will be a minimum of 2" caliper and evergreens must be a minimum of six feet in height.
- ☀ 100% coverage will be required. A minimum of 50% coverage must be live landscape materials and excludes any hardscaping such a rock, stone, mulch, retaining walls, pathways, concrete, etc.

Rear Yard Landscape - Adjacent to the Golf Course

Note: The owner of the Golf Course has the right to add or remove trees and other landscaping to the Golf Course and to change the location, configuration, size and elevation of trees, bunkers, fairways, greens, cart paths, bridges, rest rooms, irrigation pump stations, rain shelters, or other structural improvements which may alter the view from any home.

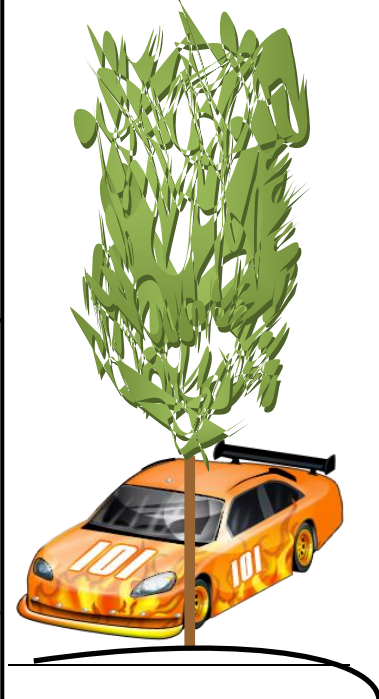
Lots directly adjacent to the Golf Course have additional requirements regarding landscape, Irrigation, turf grass planting, and buffer planting permitted or required. The use of screens, nets, or other similar protection materials will be permitted on a case-by-case basis. Protection will be achieved using natural landscape elements such as trees, shrubs, and landforms. For rear yards, adjacent to the Golf Course, the following requirements are the minimum to be installed by the Owner:

- ☀ Each rear yard will have at least three (3) trees: two (2)" caliper deciduous trees and one (1), eight (8) foot evergreen tree. Various combinations of trees can be used; however, there must be at least one (1) evergreen tree. For 50' lots, only two (2) trees, one (1) deciduous and one (1) evergreen tree are required.
- ☀ A minimum of twelve (12) shrubs will be required.
- ☀ 100% coverage will be required. A minimum of 50% coverage must be live landscape materials and excludes any hardscaping such as rock, stone, mulch, retaining walls, pathways, concrete, etc.
- ☀ Only landscape material will be permitted in the rear fifteen (15) feet of each yard adjacent to the Golf Course. No building structures are permitted.

Vegetable Gardens and Water Wise Design Plans

Vegetable Gardens are permitted in the front yards, side yards and back yards of lots. Vegetable gardens are not permitted in the tree lawns. Gardens must be clearly shown on your landscape design plans that are submitted to the Committee and must provide details with what will be planted, dimensions of the bed, any edging or framing materials to be used and the location of garden within your landscaping.

Vegetable gardens are required to be weeded on a regular basis and placement of the gardens on the lot shall not impede water flow or drainage. Vegetable gardens will be limited to one bed in the front yard and one bed on each side yard, with backyards being allowed to have up to 3 vegetable gardens installed.



Leaves filter out sulfur dioxide, carbon dioxide and other pollutants, while providing oxygen. Trees also filter dust and other airborne debris.



Please visit <https://growgive.extension.colostate.edu/garden-plans/> to see examples of Water Wise Garden designs. Should homeowners choose to implement one of these approved designs, you are still required to submit the selected design with a Design Review Request Form for review by the Committee.

Please visit the associations website at www.vrhoa.com, to see approved Water Wise Xeriscape Design Plans. The approved plans are under the Community Pages tab and then under the Architectural Control tab. Should homeowners choose to implement one of these approved designs, you are still required to submit the selected design with a Design Review Request Form for review by the Committee.

Definitions

Hardscape: Built landscape elements composed primarily of concrete, masonry, or other rock material, including but not limited to, sidewalks, patios, pavement, curbs, seat walls, monuments, raised planters and stairs.

Landscape Material: Ground coverings consisting of plant material and/or approved rock and mulch. Bare soil is not considered a "landscape material".

Plant Material: Vegetation, including trees, shrubs, ground covers, drought tolerant turf grass and live turf grass, obtained from nursery stock or otherwise cultivated for landscape applications, not including noxious weeds and vegetation generally considered undesirable due to weedy characteristics.

Drought Tolerant Turf Grass: Examples: Fescues, Scutch Grass, Buffalo Grass, Perennial Ryegrass, Bent grass. The Committee suggests Tahoma 31 Bermuda grass as a recommended live turf option as it uses 60% less water, is good for high traffic areas, is cold tolerant and low maintenance.

CONSTRUCTION PERIOD REGULATIONS

Owners must abide by these regulations and must ensure that their contractor is familiar with the applicable sections of the Declaration as well as the Guidelines with respect to any construction.

- ☀ **Construction Limits:** The architect shall provide a detailed plan of construction limits on the site plan prior to construction. The plan shall include size and location for a construction material storage area, limits of work, dumpster, utility trenching, and construction design. This information may be included in the site plan.
- ☀ **Construction Trailers, Sheds, Temporary Structures, Debris and Trash Removal:** A temporary construction trailer, trash containers, or sheds are only permitted in the event there are substantial improvements/repairs, and these items are subject to prior Committee approval. A trash containers shall be always located on the site for construction debris. Burning trash or construction debris is prohibited.
- ☀ **Daily Operation:** Daily construction working hours shall be Monday through Friday 7:00 a.m. to 7:00 p.m. and Saturday 8:00 a.m. to 4:00 p.m. with no work allowed on Sunday.
- ☀ **Excavation:** Excavation material shall not be placed in common areas, roads, or on other sites. Any excess excavation material shall be disposed of by the Owner on a timely basis in an authorized location.
- ☀ **Storage of Construction Material, Trash and Equipment:** The Owner and/or contractor shall maintain and store construction materials. Trash and equipment shall be neatly stacked, properly covered and secured.
- ☀ **Dust, Noise and Odor:** Every effort shall be made to control dust, noise, and odor emitted from a construction area. Radios, tape players, or other such devices must be played at a volume that does not disturb adjacent Owners. The contractor will be responsible for watering any dust problem areas and controlling noise and offensive odors from the site. Contractor Signs are not permitted to be placed on any lot or common area before, during or after construction.



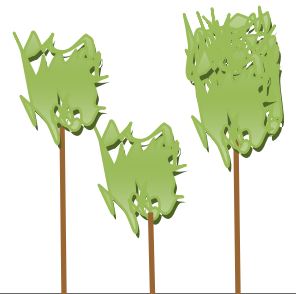
APPENDIX A:

RECOMMENDED PLANT MATERIALS

Plants listed are an estimate of the average size of a mature plant which can be attained under "normal" landscape situations. Great variation in plant size can occur with variations in watering, pruning, soil type, soil moisture, and wind and sun exposure. Plants can be maintained at various heights and widths by proper pruning.

Evergreen Trees

<i>Tree Name</i>	<i>Height (In Feet)</i>	<i>Spread (In Feet)</i>	<i>Suitable Street Tree</i>
Arborvitae	40-60	10-15	No
Arizona Cypress	30-40	15-25	No
Concolor Fir	40-60	20-30	No
Juniper	12-30	4-25	No
Austrian Pine	40-60	30-40	No
Bosnian Pine	15-25	6-8	No
Bristlecone Pine	20-40	10-30	No
Limber Pine	30-50	15-30	No
Mugo Pine	5-20	5-20	No
Pinion Pine	20-30	10-15	No
Ponderosa Pine	60-90	25-30	No
Scots Pine	30-50	20-35	No
Southwestern White Pine	40-50	20-30	No
Colorado Spruce	40-60	20-30	No
Norway Spruce	20-60	15-25	No
Serbian Spruce	50-60	20-25	No



When choosing a tree there are several things to keep in mind.

~ Can the tree survive in your climate?

~ What is the mature size of the tree?

~How much maintenance does the tree require?

~What is the purpose of the tree?

Deciduous Ornamental Small Trees

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Spread (In Inches)</i>	<i>Suitable Street Tree</i>
Alder Thin Leaf	15-20	15-20	No
Amur Mackia	20-35	20-40	Yes
Crabapple	15-25	15-25	No
Dogwood	15-30	20-30	No
Hawthorn	15-30	15-25	Yes
European Hornbeam	25-35	15-25	Yes
Japanese Lilac Tree	15-25	10-20	Yes
Peaking Lilac Tree	15-25	10-20	Yes
Ginnala Maple	15-25	15-25	No
Hedge Maple	25-35	25-35	No
Tatarian Maple	15-30	15-25	No
Big tooth Wasatch Maple	25-35	25-35	Yes
Rocky Mountain Maple	10-15	8-12	No
Shantung Maple	20-30	20-30	Yes
Three Flowered Maple	15-25	15-25	No
Gamble Oak	8-20	6-12	No

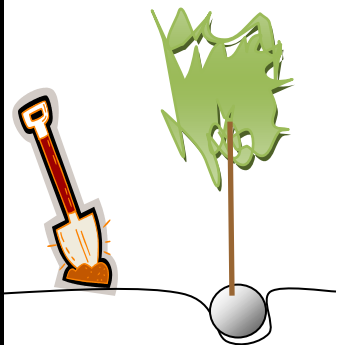


Deciduous Ornamental Small Trees Continued

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Spread (In Inches)</i>	<i>Suitable Street Tree</i>
Pear	15-35	15-30	No
Prunus	15-30	15-30	No
Service Berry	15-25	15-20	No

Deciduous Medium/ Large Shade Trees

<i>Tree Name</i>	<i>Height (In Feet)</i>	<i>Spread (In Feet)</i>	<i>Suitable Street Tree</i>
Alder	40-60	20-40	Yes
Amur Cork tree	30-45	30-45	Yes
Bald Cypress	50-70	20-30	No
Catalpa	40-60	20-40	Yes
Dawn Redwood	70-90	20-30	No
Elm	40-80	40-50	Yes
Turkish Filbert	35-50	25-30	Yes
Ginkgo	50-80	30-40	Yes
Golden rain Tree	30-40	30-40	Yes
Hackberry	50-60	40-50	Yes
Hardy Rubber Tree	40-60	40-50	Yes
Honey locust	30-60	30-50	Yes
Horse chestnut	50-75	35-60	Yes
Japanese Pagoda Tree	40-60	40-60	Yes
Kentucky Coffee Tree	60-75	40-50	No
Katsura Tree	40-60	40-60	Yes
European Larch	70-90	25-40	No
Linden	50-70	20-45	Yes
Purple Robe Locust	30-50	20-35	No
London Plane tree	70-90	60-75	Yes
Red Pointe Maple	35-50	20-40	Yes
Miyabe Maple	30-50	25-40	Yes
Norway Maple	30-60	20-60	Yes
Sugar Maple	50-70	30-40	Yes
Bur Oak	50-80	50-80	Yes
Chinkapin Oak	40-70	40-60	Yes
Shumard Oak	40-70	40-50	Yes
English Oak	40-60	15-40	Yes
Swamp White Oak	40-60	40-60	Yes
Red Oak	40-70	40-50	Yes
Ohio Buckeye	30-60	30-50	Yes
Sycamore	60-80	50-60	Yes
Tulip tree	70-90	35-50	Yes
Tupelo	30-50	20-30	Yes
Yellowwood	30-50	40-55	Yes
Zelkova	40-60	30-50	Yes

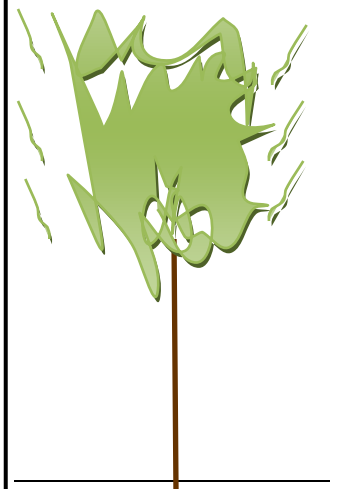


Contact your local
Nursery for
information on
the planting and
care for the tree
you choose.



Deciduous Shrubs

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Width (In Inches)</i>
Alpine Current	5	5
American Plum	12	10
Antelope Bitterbrush	6	5
Anthony Waterier Spirea	4	4
Apache Plume	5	3
Austrian Copper Rose	8	3
Black Chokecherry	4	4
Blue Canadian Lilac	12	8
Blue Mist Spirea	5	4
Boulder Raspberry	8	6
Cheyenne Privet	12	10
Chokecherry	30	20
Columnar Buckthorn	12	4
Common Purple Lilac	15	10
Compact American Cranberry	4	4
Crimson Pygmy Barberry	2	3
Curl-Leaf Mahogany	20	15
Dwarf Blue Rabbit brush	4	4
Dwarf Burning Bush	6	4
Dwarf Korean Lilac	4	6
Fern bush	4-6	6
Froebel Spirea	4	4
Gamble Oak	20	6
Gnome Pyracantha	5	5
Gold drop Potentials	3	2
Golden Current	6	5
Golden Ninebark	6-8	6
Gold flame Spirea	4	4
Great Plains Leadplant	3	3
Grow Low Sumac	3	6
Hancock Coralberry	2	12
Isanti Dogwood	6	8
Katherine Dykes Potentials	3	3
Lena Broom	4	3
Lodese Privet	2	2
Miss Canada Lilac	9	6
Miss Kim Lilac	5	3
Mountain Mahogany	12	5
Nannyberry	20	8
Native Ninebark	3-4	2
Native Potentials	3	3
Nearly Wild Rose	3	3
New Mexico Privet	15	8
Pawnee Buttes Sand cherry	6	5
Peking Cotoneaster	3	6
Pink Butterfly Bush	6	4
Purple Leaf Plum	8	6
Red Lake Current	4	3



If you are not sure how to prune your tree, don't prune. Consult your local nursery for help.

- Prune shoots to an outside bud.

- Remove bottom suckers.

- Remove dead old wood.

- Don't just shear into a rounded shape.



Deciduous Shrubs Continued

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Width (In Inches)</i>
Alpine Current	5	5
American Plum	12	10
Antelope Bitterbrush	6	5
Anthony Waterier Spirea	4	4
Apache Plume	5	3
Austrian Copper Rose	8	3
Black Chokecherry	4	4
Blue Canadian Lilac	12	8
Blue Mist Spirea	5	4
Boulder Raspberry	8	6
Cheyenne Privet	12	10
Chokecherry	30	20
Columnar Buckthorn	12	4
Common Purple Lilac	15	10
Compact American Cranberry	4	4
Crimson Pygmy Barberry	2	3
Curl-Leaf Mahogany	20	15
Dwarf Blue Rabbit brush	4	4
Dwarf Burning Bush	6	4
Dwarf Korean Lilac	4	6
Fern bush	4-6	6
Froebel Spirea	4	4
Gamble Oak	20	6
Gnome Pyracantha	5	5
Gold drop Potentials	3	2
Golden Current	6	5
Golden Ninebark	6-8	6
Gold flame Spirea	4	4
Great Plains Leadplant	3	3
Grow Low Sumac	3	6
Hancock Coralberry	2	12
Isanti Dogwood	6	8
Katherine Dykes Potentials	3	3
Lena Broom	4	3
Lodese Privet	2	2
Miss Canada Lilac	9	6
Miss Kim Lilac	5	3
Mountain Mahogany	12	5
Nannyberry	20	8
Native Ninebark	3-4	2
Native Potentials	3	3
Nearly Wild Rose	3	3
New Mexico Privet	15	8
Pawnee Buttes Sand cherry	6	5
Peking Cotoneaster	3	6
Pink Butterfly Bush	6	4
Purple Leaf Plum	8	6
Red Lake Current	4	3



Deciduous Shrubs Continued

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Width (In Inches)</i>
Red Leafed Rose	6	4
Red Twig Dogwood	6-8	10
Red leaf Barberry	4	5
Rock Spirea	4	4
Rocky Mountain Sumac	6	6
Rosy Glow Barberry	4	4
Rounleaf Buffalo berry	8-15	6-12
Russet Buffalo berry	3-5	4
Saskatoon Serviceberry	10	8
Siberian Pea shrub	8	5
Snow Mound Spirea	4	3
Tall Blue Rabbit brush	4-6	5
Tall Hedge Buckthorn	10	3
Three Leaf Sumac	6	6
Turkish Veronica	1-2	12-18
Variegated Dogwood	8	5
Wax flower	3-6	3-6
Wayfaring Tree	10	6
Western Sand cherry	5	5
Western Snowberry	3	5
White stem Gooseberry	3-4	3
Wild Rose	4	4
Yellow Twig Dogwood	6	5

Perennials/ Ground Covers

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Width (In Inches)</i>
Alert Aster	12-15	16-28
Barren Strawberry	6-8	6-12
Basket of Gold	8-12	12
Bearded Iris	30-35	18
Bethlehem Sage	12	18-24
Blanket flower	14-24	12-24
Blue Flax	18	12-24
Blue Mist Penstemon	4-12	8-12
Blue Siberian Iris	36	24
Butterfly Weed	18-36	18-24
California Zauschneria	18-24	18-24
Chocolate Flower	8-16	6-12
Clary Sage	2-3	18-24
Colorado Columbine	12-18	10-12
Coral Bells (Red)	12-24	12
Coreopsis Sunburst	12-24	12-24
Coronation Gold Yarrow	24-36	12-24
Creeping Mahonia	12-18	18-24
Creeping Penstemon	12-24	6-18



Perennials/ Ground Covers Continued

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Width (In Inches)</i>
Creeping Potentials	3-6	18-24
Daylily	24-48	12-36
Disco Belle Hibiscus	20-30	24
Double Bubble Mint	2-3	18-24
Dwarf Blanket Flower	12-14	12-14
Dwarf Crane's Bill	8-12	12-15
Elfin Pink Penstemon	12-15	6-12
Faassen's Catmint	18	18
Fringed Sage	6-15	18-24
Gay Feather	24-48	24-48
Gold strum Rudbeckia	30-36	18-24
Hardy Ice plant	1	24-30
Hidcote Lavender	12-15	8-12
Himalayan Border Jewel	4	24-36
Husker's Red Penstemon	30-36	18-24
Indigo Butterfly Bush	4	4
Lavender Cotton	12	36
Lenten Rose	12-18	12
Maiden Pinks	4-6	12-18
Missouri Evening Primrose	9-12	18-24
Moonbeam Coreopsis	18-24	12-18
Moonshine Yarrow	18-24	18-24
Munstead Lavender	12-18	12-18
New Mexico Primrose	12	18-24
Oriental Poppy	36	18-24
Partridge Feather	6-8	8-12
Pasqueflower	8-12	6-12
Periwinkle	4-8	2-4
Pincushion Flower	18-24	18-24
Pine Leaf Penstemon	12-24	18-24
Pink Panda Strawberry	6-8	18-24
Poppy Mallow	6-12	12-36
Prairie Cone Flower	18-24	18-24
Prairie Zinnia	6-8	8-12
Purple Coneflower	30-36	18-24
Purple Ice Plant	2-4	12-14
Purple leaf Winter Creeper	12-24	24-36
Rocky Mountain Penstemon	12-24	12-18
Russell Hybrid Lupines	30-36	24
Russian Sage	4	3
Salvia May Night	18-24	12-24
Sedum Autumn Joy	18-36	18-24
Shelled Leaf Penstemon	2-4	18-24
Smooth Aster	12-36	12-36
Snow in Summer	4-8	24-36
Snowflake Catmint	18	18
Stella d'Oro Daylily	12-18	12-18
Sulphur Flower	6-12	8-12

Landscape Design Suggestions

~ Use plant materials that produce unique foliage, fruit, and flower colors and textures at different times of the year so that the landscape will have interest during each season.

~ Design in elevation as well as plan view. Use the architectural elevations or pictures of the house to determine what plant massing, height, and density would work best to enhance and compliment the architecture.

~ Group plants with similar requirements so that the irrigation system can be adjusted by specific zones.



Perennials/ Ground Covers Continued

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Width (In Inches)</i>
Sunny Border Blue Veronica	18-20	15-18
Sunset Hyssop	24-36	18-30
Sweet Woodruff	6-8	8-12
Whirling Butterflies (pink)	24-36	24-36
Whirling Butterflies (white)	24-36	24-36
White Wind Flower	2-3	18-24
Wild Strawberry	2-6	12-18
Wooly Thyme	2-4	6-18
Wooly Veronica	1-2	12-18
Zagreb Coreopsis	15	15

Ornamental Grasses

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Width (In Inches)</i>
Autumn Moor Grass	18	12-24
Big Bluestem	5-6	4-6
Blue Avena Grass	24-36	24-36
Blue Fescue	8-12	8-12
Dwarf Maiden Grass	3-4	24-36
Feather Reed Grass	6-7	24
Indian Rice Grass	18-24	18-24
Japanese Blood Grass	12-18	24-36
Little Bluestem	2-3	1-2
Maiden Grass	4-5	24-36
Northern Sea Oats	2-3	2
Perennial Fountain Grass	18-24	2-3
Purple Maiden Grass	3-4	12-18
Switch Grass	4-5	3-4
Yellow Indian Grass	3-5	24

Vines

<i>Tree Name</i>	<i>Height (In Inches)</i>	<i>Width (In Inches)</i>
Boston Ivy	40-50	3-4
Hall's Honeysuckle	15-30	2
Purple Clematis	5-6	18
Sweet Autumn Clematis	5-6	18
Virginia Creeper	40-50	3-4
White Clematis	5-6	18

Landscape Design Suggestions

~ The soils in the Vista Ridge community are expansive in nature. It is highly recommended that landscaping that requires a great deal of irrigation not be located next to building foundations. A good rule of thumb is that the first ten (10) foot strip around the house be graded within a minimum of one (1) foot of fall in ten (10) feet of horizontal distance and that no irrigated sod should be located adjacent to the building foundation.

~ Drought resistant plant selections should be made adjacent to building foundations.

~ Select plants and trees from the list.



APPENDIX B:

ARCHITECTURAL REVIEW COMMITTEE PROCEDURE AND SUBMITTAL REQUIREMENTS

Review Process

These Guidelines provide a framework for the Committee to review process and approve residential additions or site improvements in Vista Ridge. An Owner (inclusive of the Owner and his architect, contractor, and/or other representatives) must follow these procedures ("Review Process") to secure the necessary approvals.

Please address all written submittals to the Vista Ridge Architectural Review Committee, c/o the managing agent, Management Specialists, 11002 Benton Street, Westminster, Colorado, 80020, Phone: 303-420-4433. Any decision of the Committee shall be made within 30 days after receipt by the Committee of all materials/documents required by the Committee, unless such time period is extended by mutual agreement. If the Committee fails to approve or disapprove any request within thirty (30) days after the complete submission of the plans, specifications, materials and other information with respect thereto, the request shall be deemed to have been disapproved by the Committee. However, the applicant may resubmit the application. Lots adjacent to the Golf Course may require further review by the Golf Course owner. Review by the Golf Course owner may require an additional thirty (30) days.

The Committee will provide a written response indicating approval of the plan, approval with modifications, or denial. If the plan is denied, a written response will be given explaining the reason for denial. Any re-submittal shall follow the same submittal procedures and address the areas of concern. Any re-submittal shall be a complete package. The more complete and well thought of the submittal, the easier it will be for the Committee to make a timely response. Construction must not begin prior to receiving a written approval from the Committee. Failure to comply may result in removal of modification or improvements by the Owner.

The Committee reserves the right to charge review fees for submission. This would normally involve complex improvements that might require professional opinions.

Plan Review Procedure

1. Following review of the Guidelines, the Owner or Owner's Representative shall prepare a signed submittal package for review by the Committee. The package must include sufficient drawings, general notes, details, brochures, and other information required for review. An incomplete package will not be reviewed and will be returned to the Owner to be completed and re-submitted.
2. The Owner sends or delivers their requests and supporting materials to the Architectural Review Committee c/o the Managing Agent.
3. The request is logged and given preliminary review by the Managing Agent to determine if there is adequate information for the Committee to make a decision.
4. The request package is forwarded to the Committee. They meet, review the submission, and reach a decision as to acceptability.
5. The request package is returned to the Managing Agent, where it is again logged.
6. The Managing Agent returns the request to the Owner.



Submittal Requirements

A general rule of thumb is this: Imagine you are on the Committee and you are reviewing the submission. Do you have everything necessary to visualize the completed product so you can make a judgment? If there are no unanswered questions in your mind based on the submission, then it is likely your submission will be acceptable.

Landscape additions, site improvements and any building additions shall be presented in an illustrated plan format on 11" X 17" sheets or larger if further detail is required. The nature of the project will determine the necessity of the plan view diagrams, sections, elevations, and multiple construction details. Owners are encouraged to use the Owner/Home Builder plot plan, showing grading and drainage of their individual lots, as a starting point for the landscape plan and site plan. It is expected that Owners will create their own plans unless unique technical information is necessary in the design. In the case of decks, retaining walls, building additions, and other structural improvements, Owners are encouraged to seek professional assistance.

Location Map and Information Block

The following information shall be included in the submittal package:

Provide a map indicating the precise lot location of the project within Vista Ridge. Include the name, address, and phone number of the Owner and all project consultants (Architect, Landscape Architect, etc.).

Landscape / Site Plan

- ⊗ **Existing Conditions**
General- Property boundaries, building footprints, utility and drainage locations, any easements or right-of-way's.
- ⊗ **Landforms and Natural Features**
Topography, drainage-ways, existing plant material, neighboring landscape planting along property lines. (Note: It is extremely important to recognize that you may not alter the drainage in your lot by your landscape and building improvements.)
- ⊗ **Hardscape**
Location and size of existing and proposed driveways, sidewalks, fencing, patio/decks, retaining walls.
- ⊗ **Proposed Landscape Improvements**
Location and size of proposed planting beds, sidewalks, seating areas, etc. Also include the locations and use of any associated lighting fixtures.
- ⊗ **Plant Material**
Include botanical, common names, and plant sizes (width, height, and installation caliper) for all trees, shrubs, perennials, and ground cover. All plants shall be drawn to indicate 75% of the mature size.
- ⊗ **Rock/ Bark Mulch and Edging**
Include the type, color and size.
- ⊗ **Fencing**
Include the location of the proposed fencing on a site plan and provide details and/or notes describing the construction methods to be used. Include a description of the type and size of the fence and whether it will be sealed or stained. Example options for the treatment of wood fences are as follows: 1. *Natural, untreated finish*, 2. *Clear waterproof sealant*, 3. *Natural Stain/cedar stain*, and 4. *Vista Ridge Community Fencing custom stain (Supplier: diamond Vogel (303-798-7453), "Vista Ridge Fawn" or equal to color to match.)*.



- ⚙ **Retaining Walls**
Include wall locations, Wall height and lengths, and proposed grading of the surrounding area. Also include any available product brochures explaining the construction methods to be used and the type, color, and size of all materials.
- ⚙ **Site Structures**
Site Structures include patio covers, gazebos, decks, patios, pools, spas, water features, play/recreational equipment, and any other additional structures beyond the primary house. You must submit a site plan showing the proposed location, in addition to elevations showing construction and exterior appearance. Also include exterior finish of other than natural, and all colors proposed.

Building Additions

If you are constructing a room addition to your home, you must submit full working drawings for the improvement. This would include floor plans and elevations of all exterior views as well as construction details. Drawings should be at a scale of 1/4" = 1'0".

For building additions, it is also important to include a site plan locating the proposed Improvements within the property boundaries and any significant existing conditions, such as easements and required site setbacks, which may apply.

Other Building Improvements

When the proposed Improvements consist of color and material changes, please include the following information:

- ⚙ **Painting/staining** - Submit paint or stain samples - large samples help give a better impression of color than small ones. Indicate the color in general terms of the houses on either side of yours (Example - light beige with brown trim).
- ⚙ **Roofing** - Submit manufacturer's sample or brochure showing the type of color of shingle you are using.
- ⚙ **Brick or stone** - If you are using brick or stone you must submit a sample or brochure indicating the color, size, and shape of the brick or stone.

Other Conditions

Approval of plans by the Committee shall not be deemed to constitute compliance with the requirements of any local building, zoning, subdivision, sign, safety, health, public works or fire codes and regulations, nor shall approval waive any requirements on the part of the Owner to comply with setbacks, height restrictions, or requirements unless such waiver or variance is specifically requested at the time of submittal and granted by the Committee and Town of Erie, where applicable. The covenants, conditions and restrictions, as established by the Declaration, shall remain in force as the legal restrictions governing all construction.

Note: Neither the Managing Agent nor its successors or assigns shall be liable in damages to anyone submitting plans for approval, or to any Owner by reason of mistake in judgment, negligence, or nonfeasance arising out of, or in connection with, the approval or disapproval or approval agrees, by submission of such plans and specifications, that they will not bring an action or suit against the Committee or its individual members to recover damages.

The Committee reserves the right to waive or vary any of the procedures or Guidelines at its discretion, for good cause shown. Any waiver or variance granted shall be considered unique and will not set any precedent for future decisions.



APPENDIX C:

ANTENNA/SATELLITE DISH RULES AND REGULATIONS

Definition

ANTENNA - Any device for the receipt of video programming services, including direct broadcast satellite (DBS), television broadcast, and multichannel multipoint distribution service (MMDS). A mast, cabling, supports, guy wires, conduits, wiring, fasteners, or other accessories necessary for the proper installation, maintenance, and use of a reception antenna shall be considered part of the antenna.

Standard Installation

Any Owner who wishes to install an antenna may proceed without approval of the Architectural Review Committee if the installation is standard within Antenna Standard Installation Location Guidelines and is of a standard size and type. If these standards are not met, an Architectural Review Committee request must be submitted for approval.

Standard Antenna Size and Type

DBS and MMDS antenna larger than one meter in diameter are prohibited. Transmission-only antennas are prohibited.

Standard Installation Location Guidelines

The standard for installation shall be:

Antenna must be installed solely on the Lot Owner's property.

No antenna shall encroach on common property.

If a quality signal can be obtained from an indoor location, the antenna must be placed in such a manner.

If an exterior installation is required, the antenna must be in the backyard or the rear side of the home in as inconspicuous position as possible. If located in the back yard and not on the home, the antenna shall be placed below the fence line and located in such a manner to not be visible from the street.

If a quality signal cannot be obtained within these standards, the Owner must submit written clarification from a qualified installer, stating that a quality signal cannot be obtained within these standards and recommending a secondary location.

The Architectural Review committee reserves the right to require additional screening, if necessary.

Antenna Installation

Antennas must not create a potential hazard to any of the common areas or neighbor's Lots.

Furthermore, all installations shall be adequately secured so as not to pose a potential hazard to any person and/or structure. All installations will comply with all applicable codes. Wiring shall be installed in such a manner as to be minimally visible and in the most concealed location possible.

Maintenance and Repair of Antenna

Maintenance and repair of antenna are:

Absolutely the responsibility of the Owner. To be properly maintained so as not to pose a potential safety hazard to any person or structure. To be dealt with quickly and properly by the Owner when maintenance or repair is required. Maintenance and repair needs may be determined by the Association.



In the event an antenna requires attention; an Owner shall be notified in writing by the Board of Directors that they must resolve the problem within the time frame determined by the Board of Directors.

Responsibility

The Owner of the antenna shall be responsible for all real or private property, or for any injury resulting from the installation of the antenna and/or its use, including but not limited to: Damage to any real or private property caused by, related to, or arising from the installation due to dislodgement, use, or maintenance of any antenna. Injury to any person resulting from the Installation of the antenna or its use.



APPENDIX D:

INFORMATIONAL MATERIAL

The following is a guide to Owners, architects, and contractors doing residential design and construction at Vista Ridge.

1. **Permits, Approvals and Inspections, including but not limited to:**

- Vista Ridge Review Process and Approval
- Town of Erie
- All applicable City and County Building department permits and inspections.

2. **Applicable Codes and regulations**

The above documents are administered by the applicable City and County building departments or other regulatory agencies and should be verified for amendments, corrections, and applicability before construction.

3. **Soil, Drainage and Geology**

All Owners should verify their site and soils conditions. Soil reports and legal surveys may be required.

- Uniform Fire Code and Natural Life Safety Code
- Uniform Building Code
- Uniform Plumbing Code
- Uniform Mechanical Code
- Occupational Safety and Health Act (OSHA)

4. **Location of Easements and Utilities**

All Owners are responsible for locating all water, sewer, gas, electrical, cable television or other utility lines or easements on their sites. Owners should not construct any structural improvements within the easement areas without the consent of the affected utility.



APPENDIX E:

FENCING DETAILS

Fences may be left natural and untreated or they may be treated with one of the following options: Clear waterproof stain, natural or cedar stain, or the Vista Ridge Community Fencing custom stain (Supplier: Diamond Vogel (303-798-7453), "Vista Ridge Fawn" or equal color to match).

- Any new materials need to be stained to match the existing fence.
- Hinges are to be Ameristar Maxima 8" tee hinge or approved equal.
- Gate latch to be Ameristar Maxima post latch or approved equal.
- All other wood connectors to be 16D hot dipped galvanized nails unless otherwise approved.
- Under no circumstances shall a rail gate be allowed to access golf course property.



APPENDIX F:

VISTA RIDGE DEVELOPER ESTATE LOT DESIGN GUIDELIENES

(November 19, 2002/Amended April 1, 2010)
Prepared by: Vista Ridge Development Corporation

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APPENDIX A – Street Tree Master Plan

1. INTRODUCTION

- 1.1 Preface:** The Vista Ridge Design Guidelines (herein known as the “guidelines”) have been created to clearly communicate to prospective architects, builders, developers, and landscape architects/designers the design principles and criteria for development within Vista Ridge. All residential and non-residential development within Vista Ridge will abide by these guidelines along with the criteria established in the Vista Ridge Development Guide (herein known as “D.G.”) and the Town of Erie Code. These guidelines expand on the concepts that guided the development of the Vista Ridge Master Plan and serve as a *supplement* to the Vista Ridge D.G. (available from Vista Ridge Development Corporation, herein known as “the Developer”). In instances where the Guidelines are more restrictive than the D.G., the Vista Ridge Design Guidelines take precedence. These guidelines are not intended to override any applicable Federal, State, or City/County codes or zoning ordinances. If there are any discrepancies, the more restrictive policies will apply.
- 1.2 Waivers/Amendments and Supplements:** The Developer or DRC (Design Review Committee or “Committee”) has the right to waive any of the provisions outlined in the Design Guidelines at any particular time. The Guidelines can be amended or supplemented by the Developer in the future. Future amendments or supplements will apply only to development planned after the adoption of such amendments or supplements.
- 1.3 Who uses these Guidelines:** Users of these guidelines include the master developer, builders, homeowners and design consultants. The Vista Ridge Design Review Committee (DRC) will use these guidelines when reviewing development proposals. The DRC will be controlled by the master developer and will govern the initial building in Vista Ridge. The DRC will review and approve all site plans and models and elevation of homes to be constructed in conjunction with the Town of Erie’s review process, as well as front and backyard landscape plans that are builder installed.
- 1.4 Statement of Intent:** The Design Guidelines have been established to assure that each home built within Vista Ridge has individual design quality and integrity while remaining compatible with the neighborhood as a whole. It is the intent of these Design Guidelines to ensure that the design of each custom home is sensitive to the context in which it is built. It is *not* the intent of these guidelines to prescribe the architectural style for any house, to determine the proper construction techniques, or to review the structural or other engineering aspects of the custom homes, all which are the sole responsibility of the builder.
- 1.5 Disclaimer:** Neither the Vista Ridge Master Homeowners Association, the DRC, or the seller will review the material submitted by the builder/homeowners for matters not expressly addressed herein, including the design or adequacy of engineering or construction techniques. For example, the decisions whether to install structural basement floors, the structural design of the home, and the quality of construction are the sole responsibilities of the builder.

2. PLANNING

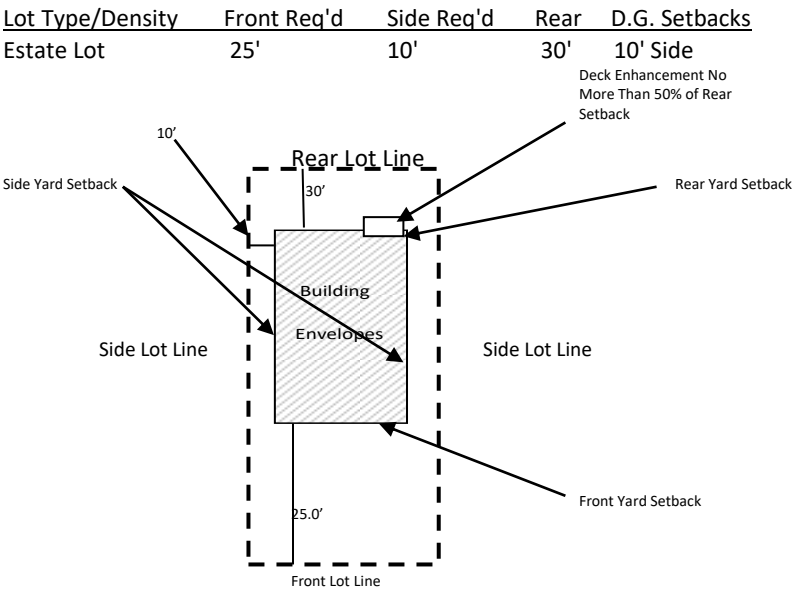
This section of the guidelines provides site planning design criteria for estate home development. More stringent standards may apply to development adjacent to the Golf Course and Community Parkway. See section 5 for more information on Golf Course & Community Parkway Standards.

2.2 Pedestrian Circulation:

2.2.1 Sidewalks: All public residential streets will have sidewalks installed by the developer. The individual custom home builder/owner will be responsible for protection of such walks during home construction.

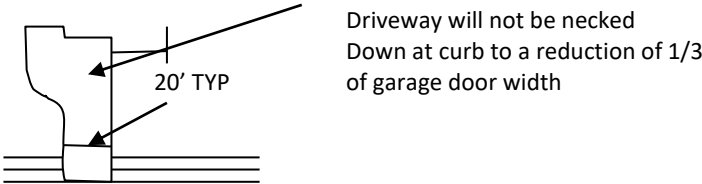
2.3 Residential Site Plan Criteria:

2.3.1 Building Setbacks:



- Patios and decks may extend into the rear yard a maximum of 50% of the depth of the rear setback.
- Roof overhangs and fireplaces may encroach into any setback.

2.3.2 Streetscape: For homes with side-by-side three (3) car garages facing the street, the driveway will be necked down at the curb to a reduction of at least 1/3 its width at the garage door.



Careful consideration will be given to the location of garages and driveways at corner lots so that they do not cause conflicts with automobile traffic movements and circulation a those corners. See Section 3.4 Garage Standards.



3. ARCHITECTURE

3.1 Design Review Committee/Intent: A Design Review Committee (DRC) will review all plans and elevations of homes to be constructed in Vista Ridge, in addition to the city's review at the time of Site Plan approval. The proposed home must fit within the context of the existing homes in Vista Ridge and must be generally compatible with the surrounding architectural styles within the neighborhood. The proposed plan must achieve its owner's objectives for view, privacy and access, without unnecessarily limiting its neighbor's ability to achieve similar objectives. In Vista Ridge, emphasis must be given to the *overall* quality of the design, which will not favor the front of the home over the rear or the sides. More stringent guidelines than those in this section will apply to homes or buildings adjacent to the Golf Course and/or Community Parkway. **See Section 5.**

3.2 Building Massing and Materials:

3.2.1 *Massing/Roofs:*

- a) Large, unbroken planes on the front and rear elevations are prohibited, as are windowless elevations, except in zero lot line, or comparable situation. Building planes will be offset by a minimum of two (2) feet.
- b) Sizes, shapes, proportions, and trim of windows and doors will be consistent with the architectural style of the home. Windows and doors on flat walls should align vertically and horizontally, or be designed in an organized architectural pattern from the exterior rather than located randomly.
- c) Homes should generally be lower around the perimeter and higher towards the center. The house should be massed to reinforce traditional building patterns with a central core and attached wings.
- d) Wings, sheds, especially porches, walls which visually tie the house to the lot, and rambling plans which produce exterior courtyards and semi-enclosed patios are encouraged.
- e) Roof pitches must be between 6/12 and 12/12. A roof will not be less than 4/12 in pitch. Roof designs will be consistent with the basic architectural style of the home. Roofing shall be high definition architectural asphalt with a minimum product weight of approximately 300 lbs. per square (comparable to the Elk Prestique 40-year High Definition Shingle). The use of concrete tile (barrel or flat), slate, or dimensional asphalt roofing will be required. Tile, slate, cement tile or metal roofs may be used in a case by case basis if that material is integral to the architectural style of the home. The use of wood shake or non-profiled asphalt will be forbidden, except for some plastic facsimiles (which will be reviewed by the DRC on a case by case basis). Roofing materials will consist of a variety of neutral colors. No black, white, or otherwise sharply contrasting roof colors will be permitted, but shades of dark to light gray will be acceptable. Roof colors will vary and it is not permissible to use the same color material exclusively throughout a subdivision. Well-defined eave and rake detailing with strong shadow lines will be required.
- f) Skylights will be flat glazed units integrated with the roof form.

3.2.2 *Materials:* Wood, shingle siding, brick, stone, synthetic stone and stucco are acceptable. If wood siding is used, it shall be restricted to natural wood boards or shingles, stained or painted with a minimum recommended 20% pigment. Hardboard siding is allowed, but pattern and type must be specifically approved by the DRC. Estate homes must have a minimum coverage of 50% masonry on the front of the home. All homes are required to have a minimum wrap/return of two (2) feet on the sides or corners of the residence or terminated into an architectural element, however a three (3) foot minimum wrap return is encouraged.



On corner lots, the side of the home exposed to the street is required to have a minimum of 30% masonry coverage. A treatment of 100% stucco will be considered on a case by case basis. Stucco facades must consist of two shades of color and include details and accent banding. No more than two (2) dominant materials will be used per front elevation. Brick and stone together on the same home will not be permitted except as approved by the DRC. Well-detailed columns, piers, and railings will be required.

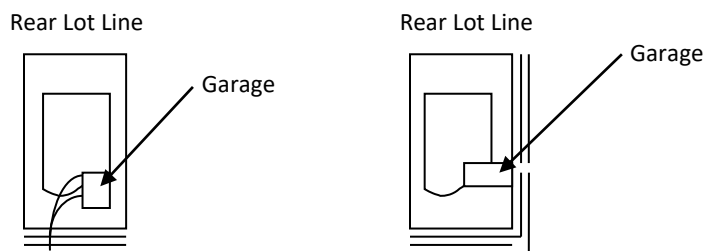
3.2.3 Exterior Elevations: Plans must be designed to look attractive from all four sides. Decorative elements (masonry veneer, shutters, dormer windows, etc.) should not be limited to the front façade. Decks built above grade must have substantial supports which coordinate with the home architecture. Masonry is prohibited on all cantilevers.

3.2.4 Square Footage: A minimum of 1,950 square feet (main level finished) for a single (ranch style) dwelling; and 2,500 square feet for a multi-story dwelling (first story above ground of at least 1,350 finished square feet). Minimum square footage is to be exclusive of any garages, patios, basements or accessory building. (Section 3.2.4 added 4/1/2010)

3.3 Garage Standards: Attention must be paid to how the home is accessed so as to minimize the impact of automobiles on the street. Solutions might include driveways that curve, garage doors that don't face the street, colored or textured concrete driveways, and wood paneled garage doors. An attempt should be made to minimize the paved driveway surface and its impact. Garages will be designed to fully integrate with the floor plan of the house. The architecture of the house will dictate the style of the garage door(s).

3.3.1 Building techniques to be utilized in garage/home construction are as follows: incorporate the garage within the building mass by 1) extending a living space or porch beyond the front face of the garage, 2) giving the roof of the garage a shape or slope similar to that of the rest of the house, 3) creating and massing a second story element (detailed and with a window or windows) within seven (7) feet of the front face of the garage, and 4) creating "tandem" depth layouts for three (3) plus car garages.

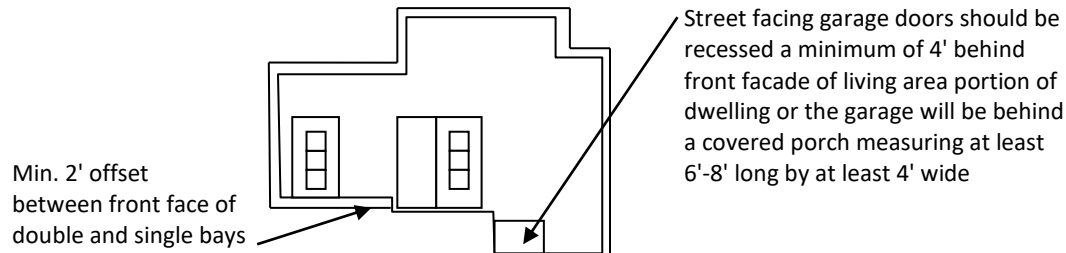
3.3.2 Side load garage configurations may be used to add variety to the streetscape. Such garages shall not unduly impact a neighbor's ability to use its adjoining side yard. Side-loaded garages are required to have architectural detailing such as windows on the side facing the street. These garages will have access from the side property line or from in front of the front door of the house.



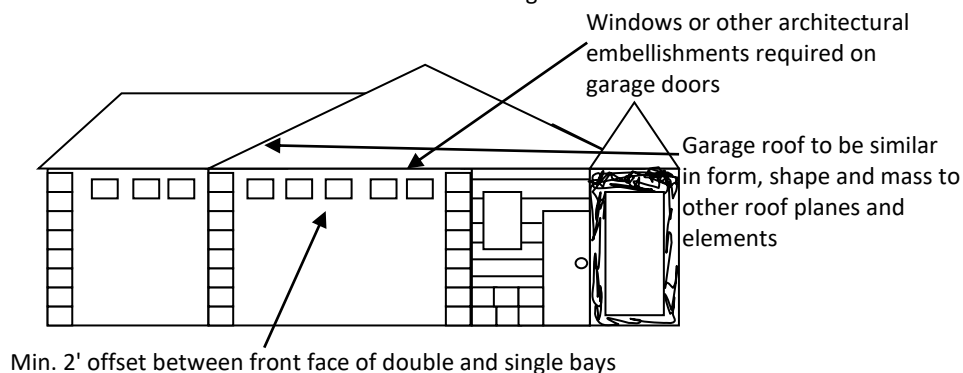


3.3.3 The following *design criteria for garages* will apply for all home designs (exceptions are noted):

- A minimum two-foot offset between the front face of a double bay and a single bay will be required.
- Street-facing garage doors will be recessed at least four (4) feet behind the front façade of the living area portion of the dwelling, or the garage will be behind a covered porch measuring at least six (6) feet to eight (8) feet wide by at least four (4) feet in depth.



- Garage roofs will blend with or be similar in form, slope and mass with the other roof planes and elements on the home.
- Windows, decorative panels, or other architectural embellishment on the garage doors is required.
- Light fixtures may be included in the garage face. **See section 6.3.2. Residential Light Fixtures.**
- Garage doors will be painted the base house color unless otherwise approved by the DRC.
- Detailing of the home's exterior character, such as the extension of the deep trim to the garage and its roof to provide shadow lines and depth will be required. The garage door trim style, design, and color selections will be varied with the style of the home.
- Limit the "free board" between the top of doors to the underside of the fascia above (but not where a gable roof is approved) to 24" maximum separating the garage plate height from the main roof form of the house.
- Where multiple garage bays (exceeding two bays) face forward towards the street, enhanced architectural detailing shall be included in the design, such as the inclusion of a trellis or decorative banding.



3.4 Wood Decks: Decks will be integrated into the architecture of the home or building using built up columns of masonry, stucco, or siding materials that are complementary to the other house materials. Columns of masonry at least 18 inches' square in width will be required at the base of any ground level vertical supports. Decks will also include detailed railings and lighting as part of the deck or rear of the house. Stairs will be constructed as cantilevering or with additional columns, and of similar materials to the deck and its handrail. All vertical surfaces, including handrails,



Fascia's and stair jacks will be painted or stained. Breaks or jogs in decks relating to the architecture are required. Covered decks count as a break in plane. All decks will have a minimum depth of ten feet, except second master bedroom decks, which may be smaller. The minimum decks size will be 48 sq. ft. Large singular deck spaces will not exceed five hundred (500) sq. ft. Detached decks are permitted but will comply with all architectural and material criteria. Second story decks will only be approved on a case-by-case basis, not as a standard design feature.

3.5 Colors: Harmonious body, trim, "punch" and masonry colors will be required. A palette will consist of three (3) various categories including the *base house color, complementary trim, and contrasting color*. While muted colors are acceptable, a total "Beige" color palette will be considered unacceptable. Color palettes shall vary from adjacent homes, including next door and across the street. All visible surfaces of wood decks and stairways will be painted or stained to match the body or trim color of the home except for the use of redwood which may remain natural. Any bare metallic surfaces (vents, pipes, gutters, flashing, etc.) will not be consistent with trim or body color. No mill-finish unpainted aluminum frames or any unfinished materials shall be allowed for window frames. The DRC must approve all color palettes.

3.6 Mailboxes: Paired mailboxes constructed onto a pillar or column will be allowed in estate lot subdivisions. Colors and materials shall be compatible throughout the neighborhood. There shall be no more than two (2) sets of house address numbers on each residence. One number shall be located on the house close to the front door and one number shall be located on the mailbox. The individual numbers shall not exceed five inches (5") in height.

4. LANDSCAPE DESIGN

4.1 General Landscape Principles: All landscape concepts for private parcels within Vista Ridge must be consistent with these Guidelines as well as the requirements of the Town of Erie. More stringent standards than those in this section may apply to homes and buildings adjacent to the golf course and/or Community Parkway. **See Section 5.** All plants used in Vista Ridge shall conform to the requirements of the most current USDA Standards, and the American Standards for Nursery Stock. Plant materials used throughout the community will meet Town of Erie Landscape Development Guidelines.

4.2 Street Trees: For all lots and buildings which front streets other than the Community Parkway, the homeowner will be responsible for planting a minimum of one (1) street tree per 30' of R.O.W. adjacency, but not less than one (1) street tree per lot. These trees will be located in the "tree lawn" with the tree trunk centered between the curb and walk, where walks are detached, or a maximum of three (3) feet from the back of curb where sidewalks are attached. Under no circumstance shall a tree be planted closer than two (2) feet to an underground utility. They will be planted approximately 30' on-center (but no closer than 15' to a streetlight) according to a street tree plan proposed by the builder and approved by the DRC.

Individual builders/homeowners must reference the approved Vista Ridge Landscape Plan (see Appendix A) for their neighborhood for the designated street tree species. No coniferous or ornamental trees will be permitted as street trees except in special circumstances, such as at neighborhood entries or community focal points, and as reviewed and approved by the DRC. No planting or other landscape treatment besides street trees and turf will be permitted in the "tree lawn" areas. Irrigation for the street tree and parkway lawn will be tied to the adjacent lot. Sleeving and irrigation will be provided by the individual builder/homeowner. The homeowner is responsible for the initial installation and the replacement of such trees. Replacement materials must be the same variety as the existing.

4.3 Grading and Erosion Controls: Planting beds will not exceed a 3:1 slope and will be 50% covered by plant material at the time of installation. Open areas not covered with seed, sod or plants will be covered by three (3) inch depth of wood or rock mulch. In areas with a slope of greater than 3:1, retaining walls will be constructed (**see Section 5.3.3 Golf Course and Community Parkway**



Standards - Accent/Retaining Walls, and Section 6.5 Community Design Elements - Accent/Retaining Walls). In certain circumstances, native turf (established by seeding) and turf sod (bluegrass or fescue) can also be used in areas where the slope exceeds 3:1, subject to DRC approval.

4.4 Drainage: It is the responsibility of the builder and the subsequent homeowner to maintain the drainage of the lot as per the original plans approved by the Town of Erie. When landscaping has been completed, all drainage swales created on each lot must function as originally designed. It is required that an engineer review and verify all drainage patterns to be certain that there are no negative impacts to adjacent lots, the Golf Course, streets, or other common areas.

4.5 Landscape Criteria for Residential Neighborhoods: All homes are required to have a basic, or upgraded individual lot front yard landscape package installed by the homeowner. A list of appropriate plant materials and typical front/side lot layout designs will be provided for the use of homeowners. Front yard landscape improvements are to be installed by the individual builder/homeowner within 90 days of receiving a C.O. or within 60 days of the start of the growing season (defined as April 1st through October 1st). Landscaping shall not interfere with the performance and function of any drainage easement. Floatable mulch shall not be used in any drainage easement area.

Areas of gravel or rock shall be restricted to the brown, gray or Colorado sandstone color ranges. Red, white or black stone gravel rock is specifically prohibited.

4.5.1 Front Yard Landscaping: Each front yard will be required to have a minimum of two (2) deciduous and/or evergreen trees above and beyond the previously mentioned street trees in the adjacent tree lawn. Deciduous trees will be a minimum of 2 1/2" in caliper and evergreens must be a minimum of six feet in height. Each front yard will also be required to have a minimum of five (5) shrubs. Lawns shall be a minimum of 50% and a maximum of 70% of the non-paved area of the front yard. Exceptions for lawn requirements may be made on a case-by-case basis for front yards containing a driveway serving a side load garage.

4.5.2 Side Yard Landscaping: A minimum of three feet (3') of planting is required between the fence and the sidewalk on all exterior (street facing) side yards. 100% landscape material will be required. This will consist of plant material and approved ground treatments, including mulch and rock. The landscape must be irrigated through establishment of the plants. Exterior (street facing) side yard landscapes will be installed by the homeowner.

On all interior (between homes) side yards 100% landscape material will be required. This will consist of a minimum of 50% plant material or an approved ground treatment, including mulch and rock. The remaining 50% may consist of hardscape. Homeowners are responsible to check with the builder regarding the appropriate minimum separation of plant material and irrigation to the home's foundation. Interior (between homes) side yards will be installed by the homeowner.

4.5.3 Rear Yard Landscaping (not adjacent to the Golf Course): Each rear lot (excluding Golf Course lots, See Section 5.3.1) will have at least two (2) deciduous and/or evergreen trees. Deciduous trees will be a minimum of 2 1/2" in caliper and evergreens must be a minimum of six feet in height. 100% of landscape material will be required consisting of a minimum of 50% sod or other plant material. The remaining 50% will consist of hardscape or an approved ground treatment, including mulch or rock. All interior block rear yard landscaping will be installed by the homeowner.

5. GOLF COURSE AND COMMUNITY PARKWAY STANDARDS

5.1 Neighborhood Planning/Site Configuration: Specific site design criteria are applied to lots and

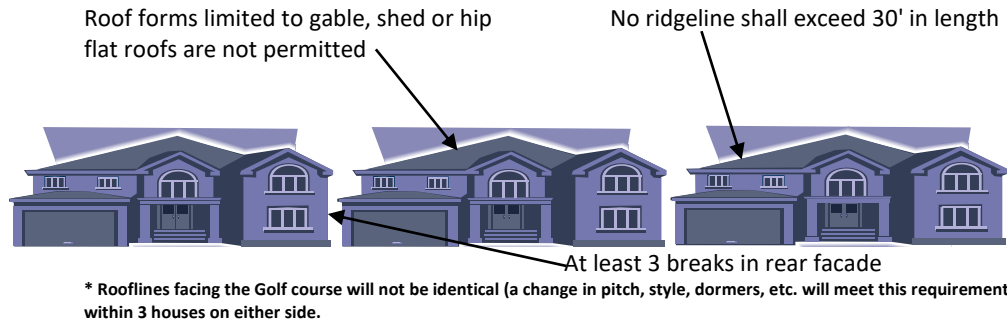


Buildings adjacent to the Golf Course and/or Community Parkway. Such criteria are in addition to or supersede the guidelines in Sections 2, 3, and 4 herein, and are as follows:

5.2 Architecture: All homes that back on the Golf Course or Community Parkway must have at least two (2) "breaks" (three (3) separate planes) in the rear building elevation. Single level ranch homes must have at least one (1) "break" (two (2) separate planes) in the rear building elevation. The minimum offset between planes shall be two (2) foot. The uses of material banding, bays, roofs, variable forms, cantilevers, covered decks and porches will be required on order to break up elevations and provide visual interest. Breaks in the wall plane will be setback at least two (2) feet from the overall wall plane. No single wall plane can exceed 70% of the elevation from the front or rear.

5.2.1 *Walk-out lots* will not be permitted adjacent to the Community Parkway. Walk-out lots will be identified at the sketch plan level, and will be reviewed as to their location, quantity, and the use of retaining walls by the master developer 20 days prior to submittal to the town.

5.2.2 *Roofs:* All major roofs will have a minimum roof pitch of 4/12. Roof design will be consistent with the architectural style of the home. Roof forms will be limited to gable, shed, and/or hip. Flat roofs are not permitted. Ridgelines are encouraged to not exceed 30 feet in length before a change occurs in direction and/or elevation. Roofs will not extend closer than seven (7) feet to grade. Rooflines facing the Golf Course will not be identical (a change in pitch, style, dormers, etc. will meet this requirement) within three (3) houses on either side. Dormers will be an integral part of the roof form and proportional to the overall scale of the roof. Dormers will be gable, hip, or shed forms. Roof vents and exterior mechanical equipment will be screened from view. Vents will be incorporated within chimneys. PVC plumbing vents will be either finished in wood or masonry, or painted to Match the roof color.



5.2.3 *Materials:* Estate homes must have a minimum coverage of 50% masonry on the front of the home, and a minimum coverage of 30% on the external sides and external rear. Masonry columns count towards the 30% requirement to the rear elevation. Walkout units at the basement level will be 100% masonry, including stone or stucco. This does not count towards the 30% masonry requirements mentioned above.

5.2.4 Each individual builder/homeowner is solely responsible for mitigating the potential *hazards of living on the Golf Course*. Exterior building materials, including glass which can withstand the effect of errant golf balls, should be utilized.

5.3 Landscape Design: The owner of the Golf Course has the right to add trees and other landscaping to the Golf Course, and to change the location, configuration, size and elevation of tees, bunkers, fairways, greens, cart paths, bridges, rest rooms, irrigation pump stations, rain shelters, or other structural improvements which may alter the view from any home.

5.3.1 *Rear Yard Plantings:* These lots will be restricted in terms of the landscape,

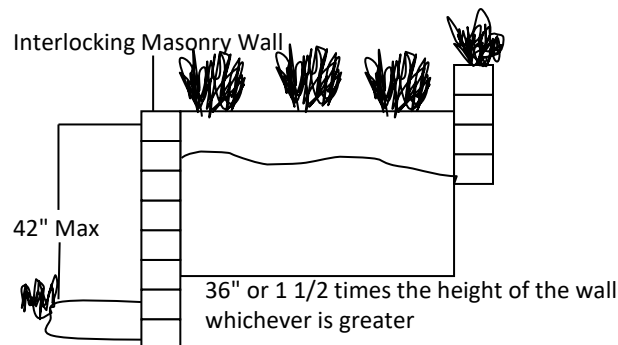


Irrigation, lawn plantings, and buffer planting allowed or required immediately adjacent to the Golf Course. The use of screens, nets or other similar protection materials will be permitted on a case by case basis. Protections will be achieved using natural landscape elements such as trees, shrubs and landforms.

Each rear lot will have at least three (3) trees: two (2) 2 1/2" caliper deciduous trees and one (1) 8' coniferous tree; and a minimum 12 shrubs. Rear yards will consist of a minimum of 50% sod or other plant material and 50% hardscape or an approved ground treatment, including mulch and rock. Planting beds will be 60% covered by plant material at the time of installation. Automatic, inground irrigation systems for lawns are required. Rear yard landscapes will be installed by the homeowner. Only plant material will be allowed in the rear fifteen feet (15') of each yard adjacent to the Golf Course. **See Section 4. Landscape Design**

5.3.2 Accessory Structures: All heating, ventilating, and air conditioning units, evaporator coolers, utility meters, electric utility transformer boxes, swimming pool pump equipment and permitted fixtures on each lot, including all refuse containers stored outdoors, will be screened from the golf course and Community Parkways view. Plant materials installed for this purpose will be a minimum of five (5) gallon evergreen shrubs. All accessory structures in lots adjacent to the Golf Course and/or Community Parkway must have DRC/HOA approval before being erected.

5.3.3 Accent/Retaining Walls: Where retaining walls are required, or accent walls are desired to break up a slope, and the area is visible from the Golf course or the Community Parkway, walls must be constructed of interlocking masonry wall units of one of the following manufactures: Keystone Block, Pavestone, or equivalent. Colors must be a series of soft earth tones from an approved palette as opposed to a variety of contrasting colors and patterns. No single wall can exceed 42" in height, and where more grade needs to be taken up, a series of walls with planting between the walls will be used. Walls will be separated by a minimum of three (3) feet or 1 1/2 times the height of the wall, whichever is greater.



6. COMMUNITY DESIGN ELEMENTS

6.1 Fencing: The fencing associated with Vista Ridge will be as follows: Community fencing, interior privacy fencing, Golf Course and open space fencing. Individual builder/homeowners whose homes abut common open space features, parks, and recreation amenities will install any interior lot line fencing for those lots adjacent to said amenities if required. All fencing will comply with Town of Erie streetscape and fencing design guidelines unless alternative design criteria are established by these guidelines and approved by the Town of Erie. Fencing may not interfere with the performance and function of any drainage easement.

6.1.1 Community Fencing: The Vista Ridge Metropolitan District and/or the Home Owners Association are responsible for the installation and maintenance for all community fences. This includes fencing along all major non-local roads in Vista Ridge.



Community fencing surrounding Vista Ridge has been designed and constructed to provide a consistent and unified image. The fencing is designed to reinforce the Vista Ridge landscape theme while satisfying the functional and privacy needs of residents.

6.1.2 Golf Course Boundary: The Developer will install open rail fencing along the perimeter of the Golf Course (including at the lot of any adjacent lots). Homeowners may add wire mesh if desired on the lot side of the open rail fencing.

6.1.3 Open Space Fence: Any fencing along the side lot lines and at the rear of a property located adjacent to open space must be open rail. Side or rear yard lot line fences shall "step" in order to allow grade changes. Wire mesh may be attached to the open rail fence, on the property owner's side of the fence only. Only one fence per lot line is permitted. Double fencing is not permitted on any lot.

6.1.4 Privacy Fencing: Privacy fencing will be installed by the Developer adjacent to the lots abutting Vista Parkway, Skyline Drive, Sheridan boulevard, and Parcel 7-4(Commercial). No other privacy fencing will be permitted within these neighborhoods. Open rail fencing may be used as lot line fencing in all other locations, including side yard, wing, and rear yard fencing, but is not required. Wire mesh may be attached to the open rail fence, on the property owner's side of the fence only. Only one fence per lot line is permitted. Double fencing is not permitted on any lot.

6.2 Residential Light Fixtures: Exterior illumination of houses, yards, garages, driveways and streets shall be limited to that reasonably necessary for security and safety. Where yard lights are utilized they will be installed by the individual builder/homeowner and placed three (3) feet from the right-of-way where no walk is present, or three (3) feet from the interior walk edge where walks are present. Where the resident chooses not to utilize a yard light, photocell activated lights at front porch or garage will be installed by the builder/homeowner. Lighting will not exceed 60 watts. No florescent lighting will be allowed. Lighting shall be oriented so as not to shine on any other property.

7. DESIGN REVIEW PROCESS

Architectural and site plans for new development must meet with the approval of the DRC. The DRC will review all submittals for conformance with Vista Ridge Design Guidelines. The DRC will review partial packages on a case by case basis. The DRC will review all proposed plans prior to submission to the Town of Erie. The individual builder/homeowner will prepare plans and specifications in accordance with all applicable governmental laws and regulations as required by the appropriate jurisdiction. Approval, by the DRC, does not represent public agency approval, nor does approval by a public agency constitute approval by the DRC. The Vista Ridge Design Guidelines do not replace or modify any applicable Federal, State, or City/County Codes or zoning ordinances.

7.1 Conceptual Review: The builder/homeowner *may* submit to the DRC site plan, elevations, etc. of a preliminary nature to gain a preliminary determination of conformity with the Design Guidelines and compatibility with the surrounding neighborhood. The turnaround time for a conceptual review will be no more than 30 days from submittal.

7.2 Site plan Review: The individual builder/homeowner must submit two (2) site plans at 1" =20' scale, including the following:

- a) Lot corner elevations, contour elevations and general drainage information
- b) Foundation top of wall (T.O.W.) elevations
- c) Garage slab elevation
- d) Drainage swale location and slope
- e) Driveway slope
- f) Setback dimensions to all lot boundaries and relationship to allowable building envelopes
- g) Exterior colors



- h) Utility meter locations and utility service locations for water and sewer
- i) Location, dimension and type of easement on property
- j) Location of any walls, patios, decks, or accessory structures
- k) Any preservation of existing vegetation
- l) All connections to utilities must be shown
- m) Any other information that may be necessary for the DRC to be able to visualize the proposed residence

7.3 Architectural Review: The individual builder/homeowner must submit two (2) sets of building plans at ¼" scale, including the following:

- a) Floor plans with square foot designations
- b) A minimum of one cross section to indicate height
- c) The architectural plans must show all the elevations on the proposed plan, and must include information on all exterior finishes and colors, including roof materials
- d) Architectural elements to be indicated on the plans include building massing, window massing, entry articulation, wall plane articulation, patio or deck spaces, roof pitch, modulation, and massing skylights and chimneys
- e) Details, railings, shutters, trims, and moldings must be identified

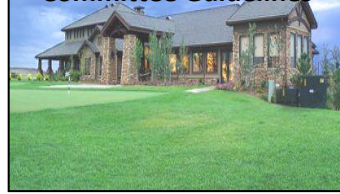
7.4 Landscape Design Review: All landscape construction that is to be undertaken in the Vista Ridge Community is subject to review under these Guidelines. After final plan for approval has been granted by the DRC through this process and the appropriate building permit applied for and approved, construction may begin.

The following are necessary for a landscape design and plan to receive DRC approval:

- a) The individual builder/homeowner will submit a landscape plan for the front, side, and rear yard of the lot for review
- b) Each lot must have the minimum requirement of street trees (see section 4.2)
- c) Front yards will have the minimum turf coverage of 50%. Corner lots can have up to 75% turf coverage
- d) Planting beds will be 50% covered by plant material at the time of installation. Seasonal flowers qualify as cover
- e) Open areas not covered with plants must be covered with 3" if wood or rock mulch. No marble chips of high contrast stone patterns will be allowed (i.e., black and white, etc.)
- f) Sight line triangles will not include plant materials exceeding 30" in height at mature growth
- g) Irrigation systems as per the minimum standards listed in the Town of Erie Landscape Development Guidelines
- h) The H.O.A. will maintain all common areas except for the parkway lawn. Each individual builder/homeowner is responsible for the maintenance of the lot, this includes maintaining and replacing the turf in the parkway lawn until the property is sold

7.4.1 Landscape Plan Submittal: A landscape plan for all front, side, and rear elevations will be prepared at a scale of 1" = 10' or larger. The plan will include the existing streets, right-of-way's, easements, property lines, building envelopes, and all existing and proposed plant material with a plant list to include quantities, common and botanical names and sizes. All site and landscape elements, including patios, driveways, pools, retaining walls, screens and enclosures, greenhouses, mailboxes, satellite dishes, and other such amenities will also be detailed. All rear yard structures will require approval from the DRC prior to installation. A qualified professional landscape architect shall prepare landscape plans. Two (2) copies of the landscape plan will be submitted to the Design Review Committee for review and comment.

7.5 Samples: Including proposed building materials, including roofing, in the colors proposed.



7.6 Deposit: A deposit of a \$2,000 check made payable to the Vista Ridge Development Corporation, must accompany the submittal. If the plans are approved and the home is built in accordance with the approved plans, the deposit will be returned upon the completion of the home. If the home is not built in accordance with the approved plans, the deposit will be applied against any expenses incurred by the Committee to bring the home into compliance. The deposit may also be used for the repair and replacement of curb and gutter, sidewalk, streets, utilities, and any other utilities adjacent to the home site that may become damaged during construction by any contractors and/or subcontractors. The deposit will be used at the discretion of the Vista Ridge Development Corporation. The builder/homeowner will be responsible for any repair costs that exceed the deposit.

7.7 Approval Process: A review fee of a \$260 check made payable to the Marathon Land Company, must accompany the submittal with a completed application. Submittal plans will be reviewed and *approved, approved with conditions, or denied*. The applicant will be notified of the results of the review in writing, within 30 days of the submittal. Upon approval, the Committee will keep one set of plans and the materials samples and will return the second set of plans to the builder/owner. Once the Committee approves the plans the builder/owner may then apply for the applicable permits. The DRC's decision regarding the builder/homeowner's compliance or non-compliance with the foregoing Design Guidelines shall be final and conclusive.

APPENDIX A

Street Tree Master Plan

- Filing 1D
- Filing 1E
- Filing 1F
- Filing 1X

APPENDIX G:

INFORMATIONAL MATERIAL – THE TREE FARM PLANTING RECOMMENDATIONS

STEP

1. When planting trees or shrubs, dig the hole approximately two (2) times wider but no deeper than the root ball or the container soil depth.
2. While digging the hole, remove the soil, making two equal sized piles of dirt, one on either side of the hole.
3. Mix one of the piles of dirt half and half with Pine Bark Soil conditioner. (Reserve the other pile to build a water-well around the tree).
4. After gently removing the plant from the container, carefully place the plant into the hole and position the top of the root ball slightly at or above ground level. If the plant is balled and burlapped (a ball of soil on the roots and wrapped with burlap) and a wire basket, **DO NOT REMOVE THE WIRE BASKET AND BURLAP**, this is what holds the soil together while you are handling the very heavy plant. Place the burlapped and wired plant into the hole with the top of the root ball at or slightly above ground level.
5. Add the amended soil to the hole. Gradually pack the amended soil down firmly until the hole is filled.
6. Remove any twine that may be tied around the trunk. Clip back **ONLY THE TOP** portion of the wire and burlap.
7. Trees should be staked for **ONE YEAR ONLY** so they are secured until stabilizing roots are developed.
8. Build a water well around the tree to conserve water.
9. Dilute root stimulator as directed and pour it over root ball until absorbed by the plant. Do this once a month **DURING THE GROWING SEASON** for the first year. More concentrated fertilizers will be used after the first year.
10. **WATERING:** We recommend that each plant be watered individually by hand with a hose, as each plant watering needs differ. Water plants thoroughly, being very careful to water the **ROOT BALL VERY SLOWLY** so the water will penetrate the root ball, not the surrounding soil mix. The run-off from the root ball will provide plenty of water for this area.



11. It has been our experience that during the first year after planting, hand watering is superior to drip irrigation, unless you are to be away from your plants for an extended period of time, such as vacation, etc.
12. Keep the plants watered as NEEDED; **MORE WATER IN HOT WEATHER AND LESS WATER IN COOLER WEATHER.** Remember, common sense prevails when trying to determine when to water. DO NOT ALLOW the roots to get dryer than damp; however, the plants are not happy with wet soggy feet!!!
13. Do not forget to winter water your plants. With Colorado's mild winters they may become too dry and never leaf out again in the spring.
14. Protective paper tree wrap should be used around the trunks of newly planted deciduous trees during the winter months to protect against winter sunscald. Do this for several years until the bark matures.
15. We have attempted to pass on some of the procedures that we at "THE TREE FARM" have found to be successful in the planting and long-term care of ornamental outdoor plants. TRY THIS, IT WORKS FOR US. At any rate the growing and care of all plants is a continual education process. GOOD LUCK IN YOUR ENDEAVOURS AND WE DO THANK YOU FOR YOUR PATRONAGE.